2021 LAND USE MONITORING REPORT for MONROE COUNTY, NEW YORK



Major Projects Proposed, Approved, and Constructed in 2021

Monroe County Department of Planning of Development, Planning Division

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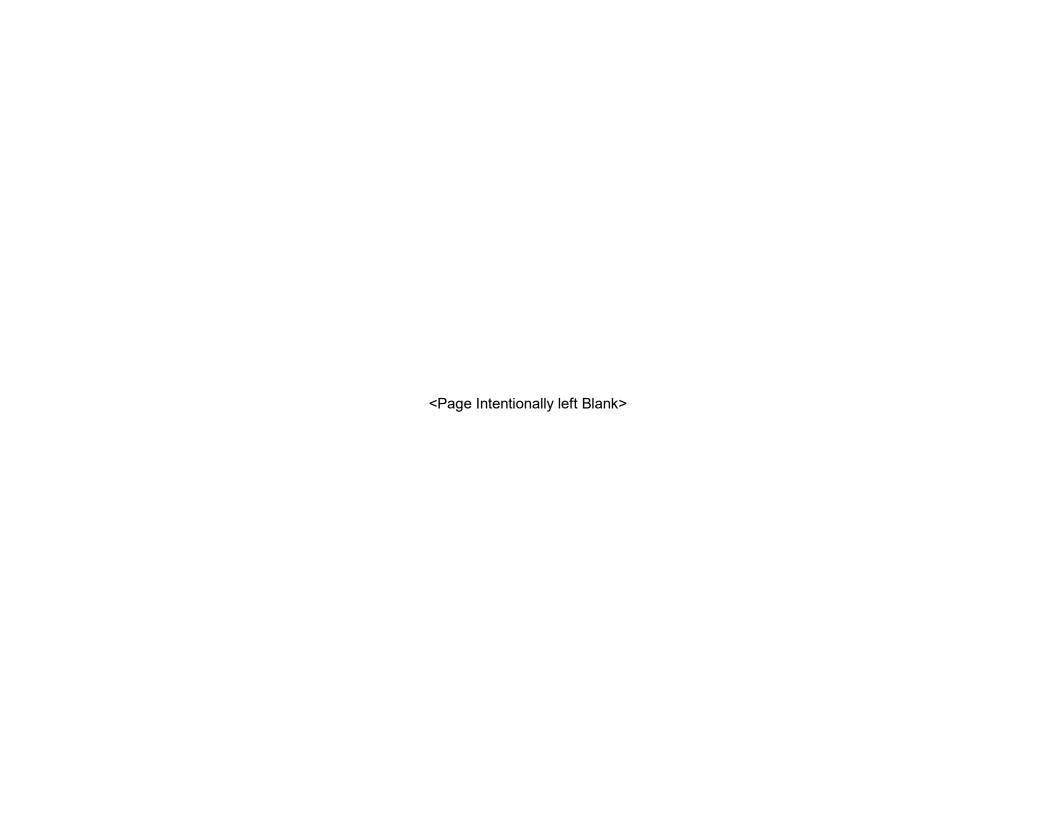


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1. INTRODUCTION

Funds from the Genesee Transportation Council (GTC) Unified Planning Work Program (UPWP) were provided as a grant to continue a system for annually reporting changes in land use within Monroe County. Up-to-date land use data is important for transportation modeling and analysis and will be used by GTC as inputs into their traffic simulation model. This land use information will be used to assess changes in land use, identify trends, and help pinpoint "hot spots" of traffic congestion that may become candidates for possible traffic management solutions.

Keeping track of growth is essential to comprehensive land use decision-making. New land uses can place a strain on existing infrastructure and other community facilities. In reviewing development applications, communities should be aware of other proposed developments that could impact the proposed facility and the area in which the project is located. In response to the need to monitor proposed development, GTC and Monroe County Department of Planning and Development (County Planning) initiated a process to identify all proposed projects and approved major projects within a computerized database that can be updated on an annual basis.

The emphasis on major projects is intended to identify significant economic activity that can generate high levels of vehicular traffic and impact traffic operations on a particular highway or within a transportation corridor. This information is obtained as early as possible in the development process and actual construction activity is tracked each year until the project is completed.

County Planning also records detailed data on other proposed projects, which are below the thresholds for major projects. These "minor" projects are not monitored to determine if or when they were approved or constructed; rather, information on the location and type of proposed minor projects may be important in the future to determine the cumulative development impacts of both major and minor projects when considering specific infrastructure improvements or analyzing development trends.

2. LAND USE DATA AND ANALYSIS

This report consists of three primary sources of land use data.

First, County Planning maintains a database of developments that are submitted to County Planning, in accordance with General Municipal Law § 239-I, -m, and -n by the city, towns, and villages of Monroe County.

Second, building permit data from the city, towns, and villages of Monroe County were collected via a survey in conjunction with Genesee/Finger Lakes Regional Planning Council ("G/FL").

Third, Monroe County Real Property data is used to provide land use classifications of the County as a whole and by each municipality.

Together, this data provides an overall view of the land use changes in Monroe County and is used by GTC in their transportation model to better inform their work as the Metropolitan Planning Organization for the Genesee-Finger Lakes Region. A brief description of each source of data and the key findings are presented below.

2.1 Development Review Major Projects

County Planning records all development projects submitted by the city, towns, and villages of Monroe County in accordance with General Municipal Law § 239-I, -m, and -n. The record of these submissions and responses is known as the *Development Review Database*. Projects that meet certain minimum requirements are deemed major projects. The minimum thresholds for major projects are as follows:

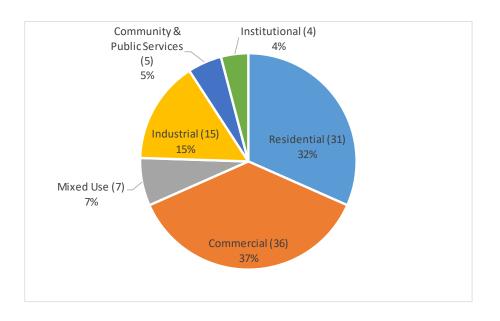
- 5 or more residential lots or dwelling units; or
- 5,000 square feet of non-residential gross floor area; or
- Rezoning for an area of 10 acres or more; or
- Proposed development is a significant traffic generator.

County Planning identified those proposed development projects that meet the thresholds in each calendar year. In the first quarter of 2022, detailed information on the proposed major projects for each municipality was recorded and submitted to the respective municipal officials for their verification of all data for each project. Each municipality was contacted for the current status of projects.

2.1 a Proposed Major Projects in 2021

A total of 98 major projects were proposed in Monroe County in 2021. Among these, 36 were commercial projects; 31 were residential projects; 15 were industrial projects; seven were mixed use developments, six of which including residential development; five were community/public services, including one solar project; and four were for institutional use.

Figure 1 - Percentage of Major Projects by Development Types



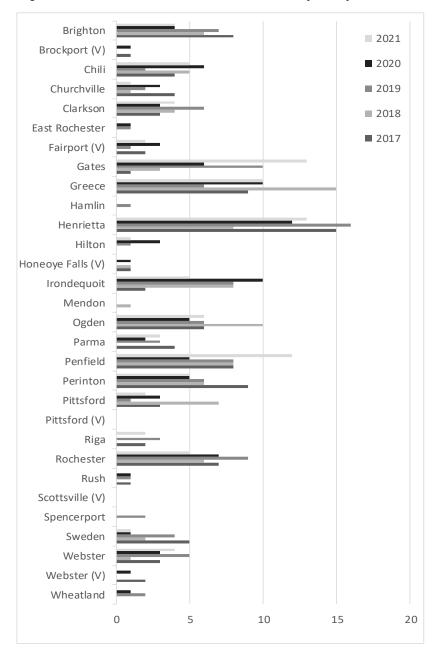
Of the 98 major projects submitted to Monroe County in 2021, there were six applications for rezoning an area over 10 acres, which is often the first indication of future development activity. As of Spring 2022, three of the nine rezoning requests have been approved, one was withdrawn, and the rest are still in pending status. There were also 31 residential projects, proposing a total of 1,764 residential units, which includes two senior housing projects, proposing a total of 192 senior housing units. Six of the seven proposed mixed use projects also include 452 residential units.

In 2021, almost half of the major projects were from these four municipalities: Gates (13), Henrietta (13), Penfield (12), and Greece (10). Gates has significant increase of the major development in 2021 and has shown the increasing major project trend in the last four years. Henrietta continues to have most major projects in 2021, as well as in 2020, 2019 and 2017. Other municipalities were showing little fluctuation in major project applications compared to previous years. 19 out of the 30 municipalities in Monroe County have had at least one major project that was proposed in 2021.

Henrietta and Greece had the most major projects in the five-year total count, with 64 and 50 respectively; however, the Village of Pittsford and the Village of Scottsville have had no proposed major projects in the last five years.

The detailed information of these 98 major projects is listed in *Table 1 - Proposed Major Projects in 2021*.

Figure 2 - 2017, 2018, 2019, 2020, and 2021 Major Project Counts



2.1 b Cumulative Status of Major Projects: 1992 - 2021

Cumulative Status of Major Projects is a status report for all major projects in Monroe County between 1992 and 2019, listed by land use. In cases, where a project is not listed under a land use category, the type of development has not been identified.

A major project will be deleted from this cumulative list only:

- If the project has been denied; or
- If the project has been withdrawn; or
- If the construction has been completed.

Table 2 - Cumulative Status of Major Projects: 1992 - 2021 is a list of all active major projects in Monroe County between 1992 and 2021 with their current status. This table is a valuable resource to track projects over multiple years, as many major projects take longer than one year to work through the approval, permitting, and construction process.

2.1 c Cumulative Status of Rezonings: 2003 - 2021

County planning accumulates a list of all rezoning projects in Monroe County that have not resulted in final construction between 2003 and 2020. In cases where a project is not listed under a land use category, the type of development has not been identified.

Rezoning is often the first indication of future development activity, so tracking the rezoning projects is an important step in having full awareness of potential projects.

Table 3 - Cumulative Status of Rezoings, 2003-2021 is an accumulation of all rezoning requests that have not resulted in construction.

2.1 d Potential Development: 2022 - 2024

Supplied by municipalities through the annual Land Use Survey, potential development projects indicate major projects in the pipeline which were not formally submitted for approval in 2021. County Planning collected the information from all municipalities

in Monroe County, and the collected information is listed in *Table 4 - Potential Development: 2022 - 2024*.

2.1 e Final Maps

Four maps are generated to geographically represent many of the projects listed in this report.

Map A - Proposed Major Projects, 2021, shows all of the major development projects submitted to County Planning in 2021;

Map B - Major Residential Projects, 2021, identifies the residential developments of 5 units or more;

Map C - Major Non-residential Projects, 2021, identifies the non-residential projects with at least 5,000 SF of development;

Map D - Other Major Rezoning Projects, 2021, displays rezoning projects that are over 10 acres.

Map B, C, and D use different sizes of dots to differentiate the sizes of the development - bigger dots represent larger projects.

2.2 Land Use Monitoring Survey

County Planning and G/FL collaborated on the collection of building permit data from the City, towns, and villages of Monroe County.

The data from the survey includes the number of residential and commercial building permits for each municipality in Monroe County. The residential building permit numbers are categorized by the type of residential structure, including:

- Single family ("Single Family");
- Two (2) family ("Two Family");
- Three (3) or four (4) family ("Three-Four Family");
- Five (5) or more family ("Five+ Family"); and
- Mobile or manufactured housing ("Mobile Housing").

Residential building permit data is used in this Report to get the basic understanding of the residential development in the local municipalities within Monroe County. The overall residential permit data is listed in *Table 5 - Residential Building Permits Issued*, 2021.

2.2 a Residential Permits in 2021

Residential permit data was supplied by the 30 surveyed municipalities; a total of 703 residential permits (for new construction) were issued in 2021, creating 1,254 housing units, compared to 711 permits and 2,122 units in 2020.

The Town of Henrietta permitted the largest number of residential units (338), comprising 27.0% of the total residential units that were permitted in Monroe County in 2021. Other municipalities that generated a large number of residential units are: Town of Chili - 177 units (14.1%), Town of Webster - 164 units (13.1%), Town of Pittsford - 145 units (11.6%), and Town of Greece - 110 units (8.8%),

Of the total number of residential permit issued, 83.8% of the permits were issued for single family home, whereas 4.0% for two family home, 0.6% for three to four family home, 6.5% for five or more family home, and 5.1% for mobile/manufactured home. (Figure 3 - Percentage of Housing Type by Permits, 2021)

Even though five or more family home permits only made up 6.5% of the total issued residential permits, they create almost half of the total housing units permitted in 2021. By total unit counts, single family homes comprise of 47.0% of all new permitted residential units; 5 or more family homes comprise of 44.5% residential units; whereas, two-family homes, three to four-family homes, and mobile/manufactured homes comprise 4.5%, 1.2%, and 2.9% respectively of the total units permitted in 2021. (Figure 4 - Percentage of Housing Type by Units, 2021)

2.2 b Residential Permit Trend: 2004 - 2021

Historical data of the number of issued residential permits from 2004 to 2021 shows the residential permit trend and annual

Figure 3 - Percentage of Housing Type by Permits, 2021

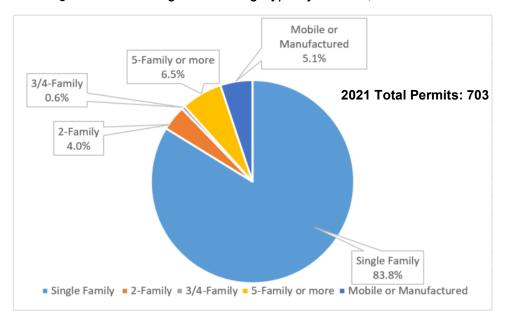
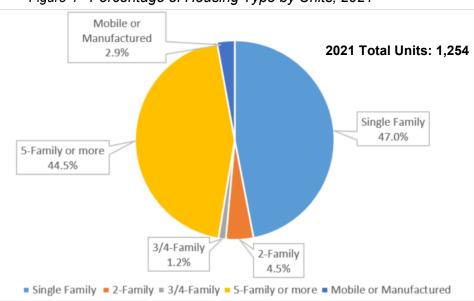


Figure 4 - Percentage of Housing Type by Units, 2021



fluctuations. Historically, the total number of permits often mirrors the number of single family permits in Monroe County.

In the range of 17 years, the issued residential permits were decreasing on the whole. Single-family home permits have steadily decreased in the past 17 years. Even though there was a rise in the last couple of years, it is too early to tell that this is the start of a new upward trend for single-family homes. On the other hand, multifamily permits have shown slight increases in a span of 17 years.

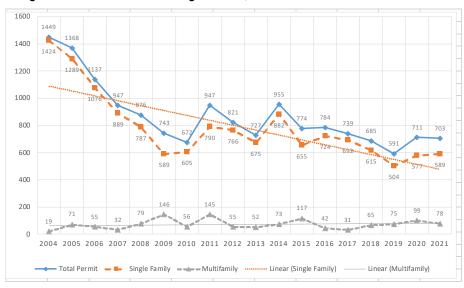


Figure 5 - Residential Building Permits, 2004 - 2021

2.3 Land Use Classification

The New York State Office of Real Property Services has developed a simple and uniform classification system to be used in land assessment administration in New York State. The system of classification consists of numeric codes within specific land use categories. There are total of nine general land use categories and each category has several secondary categories. The land use code indicated for each project in the list of approved major projects conforms to this system. (Appendix A - NYS Land Use Code Numbers and Categories)

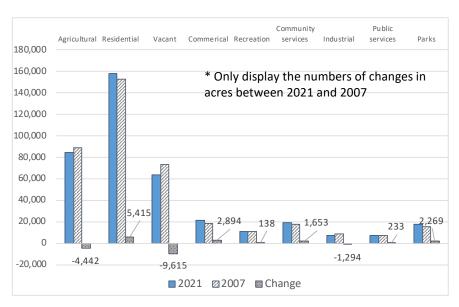
2.3 a Monroe County

This Report includes tables that summarize all of the land use codes by the nine general land use categories and calculate the total number of parcels/properties in each category. The total property acreage was also aggregated for each category. Percentages were calculated for both properties and acreage.

Table 6 - Countywide Land Use Classification Summary provides a compilation of data for all municipalities in Monroe County in 2021. Sorted by acreage, the top three land uses in Monroe County are Residential (40.53%), Agricultural (21.57%), and Vacant Land (16.31%). Ranked by number of properties, the top three land uses are Residential (86.02%), Vacant Land (6.26%), and Commercial (4.74%).

County Planning started to include the Countywide Land Use Classification summary in 2007. Since 2007, the total land area for each land use category over the last 14 years does not have dramatic changes. Comparing data from 2021 and 2007, there is an increase in land use classification for residential (+5,415 acres), commercial (+2,894 acres), community services (+1,654 acres), and open space (+2,269 acres); in consequence, a decrease in land use classification for agricultural (-4,442 acres), vacant (-9,615 acres), and industrial (-1,294 acres).

Figure 6 - Land Use Classifications in Acres, 2007 & 2021



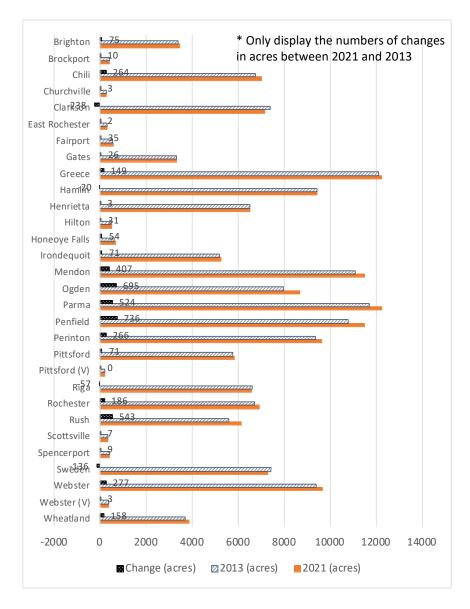
2.3 b Monroe County Municipalities

Table 7 - Land Use Classification Summary by Municipality provides the 2021 Property Classification Summary for each municipality in Monroe County. This breakdown is an instructive way to understand the dominate land uses in municipalities and by extension what types of uses comprise the tax base of each community. Additionally, annually tracking of this data helps communities understand how they are changing and the way things are trending; whether farm loss is occurring; residential development is trending up; etc.

County Planning started to include the Land Use Classification summary by Municipality in 2013. By comparing the 2013 and 2021 residential land use classification data for all the municipalities, almost all municipalities in Monroe County have added residential lands in the last 8 years, except the Town of Clarkson, Sweden, Riga, and Hamlin losing a total of 451 acres residential lands. On the contrary, Town of Penfield, Ogden, Rush, and Parma have gained significant residential lands in the last 8 years, adding 736 acres, 695 acres, 543 acres, and 524 acres residential land respectively.

Both Table 6 and 7 were sourced from the Monroe County Department of Environmental Services, GIS Division, parcel file in January 2022.

Figure 7 - Residential Land Use by Municipalities, 2013 & 2021



3. IMPACT OF THE COVID-19 PANDEMIC

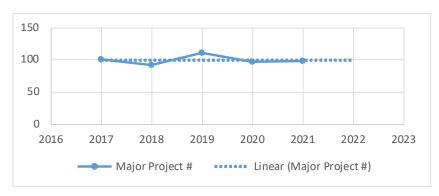
The Covid-19 pandemic has created both a public health crisis and an economic crisis. The impact of the pandemic has infiltrated our daily life and our local economy; inevitably, some changes are likely to stay. Although the federal stimulus programs might have offset some impacts on project development, the study of the development trend of pre and post pandemic will help us better understand the changing land uses and development trends post pandemic in Monroe County.

The following section includes two studies to learn the changes of the recent years before and post the pandemic. The first is to monitor the total number of major projects; the second is to observe the trend of development types. The data is based on major projects proposed in 2017, 2018, 2019, 2020, and 2021.

3.1 Total Number of the Major Projects

A total of 98 major projects were proposed in 2021, compared to 100 in 2017, 92 in 2018, 111 in 2019 and 97 in 2020. There is no unusual change of the year 2021 compared to the previous years in terms of the total number of projects proposed.

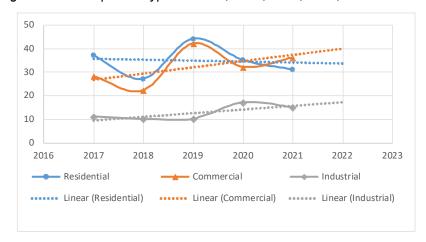




3.2 Development Types

There are three main development types in Monroe County: residential, commercial, and industrial. The gap between residential and commercial is trending smaller in the course of 4 years: 2017, 2018, 2019, and 2020, with residential in the lead; however, in 2021 the proposed commercial projects outnumbered the residential project development. According to the development review submission data, there is a slight decline in residential development and the commercial and industrial development types have not shown a negative impact from the pandemic for 2021.

Figure 9 - Development Types in 2017, 2018, 2019, 2020, and 2021



3.3 Conclusion

The residential development decline in 2021 might be due to the global supply chain crisis as a consequence of the Covid-19 pandemic. It is still too early to determine development pattern changes for Monroe County post-pandemic, considering that the total time lag for the effects of the pandemic to be seen on project development might take two to three years. County Planning intends to continue monitoring the major project counts and development trends in the next few years.

Monroe County Land Use Monitoring Report 2021

TABLE 1 - PROPOSED MAJOR PROJECTS IN 2021

TABLE 1. Proposed Major Projects in 2021

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
<u>Brighton</u>												
Pending Approval	BH21011	Justin Dollard University of Rochester Laboratory for Laser Energetics Expansion 250 E River Rd 148.11-1-4.1	130.01	3605500000332		1	0	55000	166			
Pending Approval	BH21013	Paul Colucci 1905 South Clinton Ave, Phase II A 1905 S Clinton Ave, 1925 S Clinton Ave 136.15-1-8.1, 136.15-1-9.1	129	3605500000192		1	2	18400	11.2			
Pending Approval	BH21014	Pemm LLC - Quicklee's Quicklee's Site Plan and Subdivision 1950 Monroe Ave, 1966 Monroe Ave 137.10-5-1, 137.10-5-2	127	3605500000397		1	1	2500	0.5			
Approved	BH21020	Frank Imburgia 3300 Brighton Henrietta Townline Road -Medical Building 3300 Brighton Henrietta Town Line Rd 149.20-1-3	130.01	3605500000201		1	1	10000	2.2			
Brighton	Subtotal:	4				4	4	85900	179.9			
<u>Chili</u>												
Under Construction	CI21003	James Sydor Sydor Optics 39 Jetview Dr 147.06-1-73.1	145.04	3605500000434		1	0	52500	4.39			
Under Construction	CI21006	Anthony Dichario AmChar Indoor Gun Range 100 Air Park Dr 135.03-1-15.201	146.02	3605500000223		0	0	28275	3.083			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Under Construction	CI21024	Flower City Land LLC Flower City Tree 610 Millstead Way 147.02-1-2.22	146.02	3605500000223		1	1	9760	0			
Approved	CI21043	Joe Fallone 93 King Road 93 King Rd 145.06-1-6.114	145.05	3605500000518		23	0	0	0			
Approved	CI21063	Ronald Mazza(Owner)- Byrne Dairy & Deli Applicant Byrne Dairy 29 Paul Rd, 31 Paul Rd 147.02-1-26, 147.02-1-27	146.02	3605500000223		2	1	4232	1.75			
Chili	Subtotal:	5				27	2	94767	9.223			
Churchville												
Pending Approval	CV21002	Al Spaziano BLACK CREEK COMMONS 32 E Buffalo St 143.10-1-37	150	3605500000283		1	10	36977	0.849			
Churchville	Subtotal:	1				1	10	36977	0.849			
Clarkson												_
Completed	CK21002	Arkadiy Kravchenya Storage Building 11 Clarkridge Dr 055.04-1-17.13	152	3605500000305		1	0	12000	5.023			
Approved	CK21003	Ernie Haywood Lifetime Assistance 100 Horizon Park Dr 054.01-1-22.112	152	3605500000303		1	1	6700	1			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Approved	CK21004	DONALD COOK WEST COOK RE-SUBDIVISION 9367 Ridge Rd 053.01-1-2.111	152	3605500000303		5	0	0	0			
Approved	CK21005	Clarkson Renewables 2, LLC Clarkson Renewables 2, LLC. 0 West Avenue 067.02-1-1	152	3605500000303		1	0	0	63.65			
Clarkso	n Subtotal:	4				8	1	18700	69.673			
<u>Fairport</u>												
Approved	FP21005	Chris Casa 24-28 N Main Street 24-28 Main Street North 153.09-4-45.2	118	3605500000158		1	0	1450	0.35			
Approved	FP21006	Lucas Coolidge Corning Tropel Annex Addition 60 O'Connor Rd 152.12-2-1.1	118	3605500000157, 3605500000158		1	0	10000	13			
Fairpoi	rt Subtotal:	2				2	0	11450	13.35			
Gates												
Completed	GT21007	Mehmet Demirtas RACS K-5 Elementary School 310 Hinchey Rd 119.20-1-16	144	3605500000443		2	1	28862	2.24			
Approved	GT21009	Al Spaziano Gates Townhouses 150 Canal Landing Blvd 104.07-1-1.111	143.01	3605500000227		1	48	104000	7.5			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Approved	GT21010	898 Buffalo Road Associates, LLP	143.02,144	3605500000238, 3605500000235, 3605500000442, 3605500000240, 3605500000443		1	158	66000	10			
		Doud Apartment Homes Chili Ave, 898 Buffalo Rd 119.20-3-1./GC, 119.08-1-36										
Approved	GT21011	Brad A. White Westside Professional Landscape Subdivision 2565 Buffalo Rd, 2551 Buffalo Rd 118.16-1-54, 118.16-1-53	142.02	3605500000439		1	5	10165	2.4			
Completed	GT21014	Richard Riccelli Temporary Batch Plant - 2548 Manitou Road, Gates 2548 Manitou Rd, 2548 Manitou Rd 103.17-1-7.11, 103.17-1-7.1	142.02	3605500000232		1	1	41250	14.4			
Approved	GT21015	Pemm LLC Quicklee's Site Plan 2055 Chili Ave, 2061 Chili Ave 134.11-2-2, 134.11-2-1	144	3605500000442		1	2	6500	1.7			
Under Construction	on GT21021	Joseph Gizzi 3035 Buffalo Road 3027-3035 Buffalo Rd 118.15-1-54.1	142.02	3605500000236		1	1	15000	1.276			
Approved	GT21024	Tom George Westmar Plaza 2159 Buffalo Rd 119.13-1-5.1	144	3605500000238		1	0	110000	14.49			
Approved	GT21026	Tom George Westmar Plaza 2159 Buffalo Rd 119.13-1-5.1	144	3605500000238		1	0	159000	14.49			
Approved	GT21028	Pathstone Development Corp. Churchview Commons 1049 Wegman Rd 119.09-1-47	142.04	3605500000233		1	48	0	0			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Approved	GT21032	Steve Licciardello Rezone 1010 Spencerport Rd, 1020 Spencerport Rd, 1032 Spencerport Rd, 1036 Spencerport Rd 103.12-2-79, 103.12-2-78, 103.12-2-77, 103.12-2-65	142.03	3605500000226		4	12	0	0			
Pending Approval	GT21034	Stephen Galvano Rochester Christian Church Ministries 3235 Lyell Rd, 3177 Lyell Rd 103.20-3-31, 104.17-1-1	142.04	3605500000229		2	0	29938	8.6			
Approved	GT21038	Steve Licciardello Lightwood Townhomes 1036 Spencerport Rd 103.12-2-65	142.03	3605500000226		1	12	16200	2.05			
Gate	s Subtotal:	13				18	288	586915	79.146			
<u>Greece</u>												
Pending Approval	GR21005	Fallmarc Development LLC Stonewood Estates 10 North Greece Rd 058.01-1-1	135.08	3605500000249		13	0	0	21.7			
Pending Approval	GR21008	447 Long Pond Road LLC Hawthorn Grove Subdivision 447 Long Pond Rd 034.03-9-69	135.03	3605500000245		7	0	0	5.9			
Completed	GR21018	Acquest Companies 1500 Lexington AVenue 1600 Lexington Ave, 1500 Lexington Ave, 1466 Lexington Ave, 14 Lexington Ave 089.04-1-2.108, 104.28-1-2.001, 104.28-1-8.001, 104.28-1-9	88,18 56	3605500000270		1	1	300000	17.5			
Completed	GR21031	WHA ONE, LLC 4545 West Herr Ford Collision Shop 4545 W Ridge Rd, 1750 Manitou Rd, 1744 Manitou Rd, 4555 W Ridge Rd, Manitou Rd, 1738 Manitou Rd, 4589 W Ridge Rd 073.01-3-11, 073.01-3-5, 073.01-3-7, 073.01-3-10, 073.01-3-6.1, 073.01-3-8.1, 073.01-3-9.1	141.04	3605500000264		0	0	8500	5.8			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Approved	GR21038	North Greece Self Storage 400 Allied Way 400 Allied (Pvt) Way 033.03-3-2.112	135.08	3605500000244		1	4	15200	5.02			
Under Construction	GR21043	Rochester Academy Charter School Rochester Academy Gymnasium 1757 Latta Rd 046.14-8-1.1	136.01	3605500000452		1	1	12276	4			
Approved	GR21053	Frank Imburgia, FSI Hobby Lobby 1960 W Ridge Rd 074.16-2-22.1	140.03	3605500000260		1	1	56036	5			
Approved	GR21054	Owner-Ridgeway Properties I, LLC(c/o Conductor Property Management) Li-Cycle North America Hub, Inc. 50 McLaughlin Road & 205 McLaughlin Road 50 McLaughlin Rd, 205 McLaughlin Rd 089.04-1-3.22, 089.04-1-3.21	141.04,18	3605500000270		2	0	587937	119.48			
Pending Approval	GR21061	Allied Property Developers Buttonwood Heights Manitou Rd 025.03-3-35.101	135.03	3605500000242		45	0	0	27.9			
Approved	GR21062	Frederick Geiger Site Plan 330 N. Greece Rd 330 North Greece Rd 033.04-2-52	135.03	3605500000244		0	0	6925	0.937			
Greece	Subtotal:	10				71	7	986874	213.237			
<u>Henrietta</u>												
Pending Approval	HR21003	Sean Donohoe Clay Road North - Proposed Manufacturing Facility Clay Rd 162.09-1-11.1	131.04	3605500000335		1	0	120000	13.015			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Approved	HR21004	Andrew Bodewes Riverton Parcel "E" Scotts W Hen Rd 188.03-1-16.111	132.06	3605500000428		1	110	0	26.63			
Approved	HR21005	Tom George Lehigh Mixed Use Development 84 Lehigh Station Rd 174.02-1-43	132.05	3605500000211		1	352	0	57.533			
Approved	HR21008	Ryan Brandt Marketplace Senior Apartments 1100 Miracle Mile Dr 161.12-1-1.1/F	131.04	3605500000333		1	150	155664	3.04		•	
Under Construction	HR21009	Jim Mulka BMW of Rochester Dealership Expansion 4250 West Henrietta Rd 175.07-1-40.2	132.04	3605500000423		1	2	7200	3.96			
Under Construction	HR21010	Paul White Frontier Car Wash 2199 East Henrietta Rd 162.18-2-1.001, 162.18-2-1.003	131.04	3605500000209		1	0	4800	1.099			
Pending Approval	HR21011	Chip Overbey Old Dominion Freight Line Facility Expansion 15 Transport Dr 161.10-1-20	131.04	3605500000409		1	0	16488	6.48			
Pending Approval	HR21014	Rick Lemcke Lemcke Family LLC Bri-Hen Town Line Rd 148.20-1-22.1	131.04	3605500000413		1	0	38120	5.7			
Pending Approval	HR21015	Mr. Bruce Howlett Lehigh Ridge Middle Rd, Lehigh Station Rd, Lehigh Station Rd, East Henrietta Rd East Henrietta Rd, East Henrietta Rd 175.04-1-20, 175.20-1-84, 175.20-1-85, 175.20-1-86, 176.17-1-25.12 176.17-1-23.12, 176.17-1-22.2		3605500000424		113	113	0	69.5			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Under Construction	HR21016	Lukas Amalfi Roc River Apartments East River Rd 174.02-1-17	132.05	3605500000211		1	202	0	37.2			
Approved	HR21017	Mr. Reginald Allen CHS Mobile Expansion 280 Calkins Rd, 292 Calkins Rd 175.08-1-3, 175.08-1-4	131.04	3605500000411		1	0	7200	2.17			
Pending Approval	HR21018	Michael Trojian Coopervision Expansion 180 Thruway Park Dr, 230 Thruway Park Dr 188.02-1-62.1, 188.02-1-59.1	132.06	3605500000214		1	0	152950	21.4			
Pending Approval	HR21019	Alex Vironin West Sunset Estates Subdivision West Henrietta Rd 202.01-2-2.11	132.04	3605500000215		5	0	0	12.5			
Henrietta	Subtotal:	13				129	929	502422	260.227			
<u>Hilton</u>												
Pending Approval	HL21004	MARCO MATTIOLI SITE PLAN FOR MATCO SELF STORAGE 150 Old Hojack Ln, 170 Old Hojack Ln 023.20-1-5.1, 023.20-1-4	148.04	3605500000524		1	11	146880	12			
Hilton	Subtotal:	1				1	11	146880	12			
<u>Irondequoit</u>												
Approved	IR21001	Steven Labuzetta Summer Villas on Third 91 Lake Front, 91 Lake Front, St Paul Blvd 047.56-1-4, 047.56-1-56.1, 047.56-1-95	101	3605500000097		3	8	0	1.2			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Under Construction	IR21004	Ken Perelli 2590 Culver Road - Quicklee's 2590 Culver Rd 092.10-3-2	109.02	3605500000112		1	0	5200	2.15			
Pending Approval	IR21005	Jay Negrin 1930 E. Ridge Road 1930 E Ridge Rd 077.17-2-60	106.01	3605500000357		1	1	1550	0.65			
Pending Approval	IR21006	Ralph Masters 975 Empire Blvd 975 Empire Blvd 108.05-1-16, 108.05-1-16.1	111	3605500000114		1	1	6000	1.67			
Under Construction	IR21008	Ken Perelli 2590 Culver Road 2590 Culver Rd 092.10-3-2	109.02	3605500000112		1	0	5200	3.242			
Pending Approval	IR21011	Town of Irondequoit Byrne Dairy & Deli Retail Store and Fueling Facility 2180 E Ridge Rd/ Ridgewood Drive 077.18-3-78.1	108	3605500000358		1	0	4232	1.6			
Irondequoit	Subtotal:	6				8	10	22182	10.512			
<u>Ogden</u>												
Pending Approval	OG21005	Valentino Visca Parkview Townhomes Union Street & Big Ridge Road Rezoning Union St 087.01-1-24.111	149.06	3605500000464		0	84	0	24.8			
Approved	OG21006	Eric DeMarte 55 & 60 Regency Oaks 55 Regency Oaks Blvd, 60 Regency Oaks Blvd 132.02-2-7.15, 132.02-2-7.16	149.05	3605500000521		2	1	45000	13.78			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Pending Approv	val OG21008	JOHN P. GIZZI Granite Ridge Subdivision 129 South Union Street Whittier Rd 117.03-1-61.1	149.05	3605500000465		34	34	0	51.723			
Pending Approv	val OG21010	Tim Weber 0 - Gillett Road, Town of Ogden 0 Gillett Rd 117.02-1-6.111	149.05	3605500000291		1	1	385000	87			
Approved	OG21012	Emerald Point Developers, LLC Advantech Industries Building Expansion 3850 Buffalo Rd 117.04-3-4.113	149.05	3605500000291		1	0	48750	12.2			
Approved	OG21018	Jason Fowler 4150 Buffalo Road 4150 Buffalo Rd 132.01-2-37.2	149.05	3605500000465		1	0	20800	5.6			
O	gden Subtotal:	6				39	120	499550	195.103			
<u>Parma</u>												
Approved	PM21001	SARA PUCCIA 210 COLLAMER ROAD 210 Collamer Rd 023.04-2-9	148.04	3605500000524		1	240	38400	4.4			
Approved	PM21009	1919 NORTH UNION LLC TLC ADVENTURES IN CHILD CARE 1919 N Union St 072.03-1-4.1	148.02	3605500000469		1	1	11068	3.594			
Approved	PM21018	CARLO CALLES WILDER ESTATES, SECTION 9 468 Wilder Rd 025.03-1-29.001	148.03	3605500000294		18	17	2500	7.699			
Pa	urma Subtotal:	3				20	258	51968	15.693			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Penfield												
Approved	PN21001	Daniel Scorza Scorza Subdivision 1700 Baird Rd 109.04-1-34.1	115.04	3605500000146		6	1	3200	3.3			
Completed	PN21002	Northwood Real Estate Ventures, LLC (applicant) 1838 Empire Boulevard-Chipotle 1838 Empire Blvd 093.15-1-58	115.01	3605500000367		1	1	2350	0.73			
Pending Approval	PN21006	Penfield Heights, LLC Excelsior Penfield Apartments 1810 Frpt Nine Mile Pt Rd, 1820 Frpt Nine Mile Pt Rd 125.01-1-25.2, 125.01-1-25.1	115.05	3605500000373		2	127	192691	6.63			
Approved	PN21007	Penfield CSD - Dan Driffill Penfield CSD Transportation/Buildings and Grounds Facility 1364 Jackson Rd 095.03-1-35	115.01	3605500000135		1	0	29800	40.1			
Under Construction	n PN21011	J J & A Development LLC Healthcare Facility 2070 Empire Blvd 093.02-1-1.121	115.01	3605500000367		1	1	6200	2.43			
Under Construction	n PN21014	Eric & Susan Stroyer Stroyer Subdivision 1030 Plank Rd 094.04-1-32.11	115.01	3605500000135		5	0	0	15.416			
Pending Approval	PN21017	Penfield Heights, LLC Penfield Heights 1820 Frpt Nine Mile Pt Rd, 1810 Frpt Nine Mile Pt Rd 125.01-1-25.1, 125.01-1-25.2	115.05	3605500000373		1	132	216892	6.6			
Pending Approval	PN21020	Pathstone Development Corporation 1801 Fairport Nine Mile Pt Rd Apartments 1801 Frpt Nine Mile Pt Rd, 1787 Frpt Nine Mile Pt Rd 125.01-1-33.11, 125.01-1-3.111	115.04	3605500000146		0	136	203371	10.6			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Pending Approval	PN21022	Elisabeth Vella 44, 50, 56 Wilbur Tract Road 44 Wilbur Tract Rd, 50 Wilbur Tract Rd, 56 Wilbur Tract Rd 108.10-1-1.113, 108.10-1-1.2, 108.10-1-1.112	115.03	3605500000136		0	1	5440	4.18			
Approved	PN21027	Dustin McLoud Highland Estates 2735 Penfield Rd, 2745 Penfield Rd 141.01-1-18.21, 141.01-1-18.22	115.05	3605500000152		17	16	0	48.08			
Pending Approval	PN21032	Ralph DiTucci The Arbors at Penfield 1611 Frpt Nine Mile Pt Rd, 1615 Frpt Nine Mile Pt Rd, 1643 Frpt Nine Mile Pt Rd, 1657 Frpt Nine Mile Pt Rd, 1255 Penfield Cntr Rd, 3278 Atlantic Ave 110.03-1-4.212, 110.03-1-4.205, 110.03-1-25.2, 110.03-1-25.1, 110.03-1-4.206, 110.03-1-24	115.04	360550000140		4	101	149764	73			
Pending Approval	PN21036	Luis Ribeiro Penfield Square - Proposed Mixed-Use Buildings 100 YMCA Way, 300 YMCA Way, 1821 Frpt Nine Mile Pt Rd 125.01-1-25.34, 125.01-1-25.33, 125.01-1-25.3				2	16	33630	0.73			
	l Subtotal:	12				40	532	843338	211.796			
Perinton Approved	PR21005	Stacey Haralambides Dwell on Jefferson 638 Jefferson Ave, 640 Jefferson Ave 165.11-2-15.1, 165.11-2-15.2	119.02	3605500000161		1	11	12276	1.6			
Pending Approval	PR21011	Whitney Housing LLC The Legends at Whitney Town Center - Phase II 100 Clear Spring Trl, 696 Whitney Rd W, Whitney Road West 152.07-1-20, 152.07-1-22, 152.08-1-7	119.01	3605500000374		1	42	50000	1.45		✓	
Approved	PR21031	Armando Costabile The Tracks 2830 Baird Rd 152.11-1-12.211	119.01	3605500000157		1	0	6210	3.475			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Pending Approval	PR21032	MICHAEL MUSSUMECI MUSSUMECI STORAGE Macedon Center Rd 153.19-1-1	117.03	3605500000159		1	2	7300	1.1			
Pending Approval	PR21033	Brian Moyer Austin Road Subdivision 48 Austin Rd 165.20-3-34	117.06	3605500000380		5	5	0	6.85			
Perinton	Subtotal:	5				9	60	75786	14.475			
<u>Pittsford</u>												
Approved	PT21002	McDonald's Corporation McDonald's Restaurant Prelim/Final Site Plan and Special Use Permi 3280 Monroe Ave 150.12-1-12	123.01 t	3605500000177		1	0	7189	2.23			
Under Construction	PT21003	West Linden Properties, LLC 920 Linden Avenue 920 Linden Ave 138.16-1-13.1	122.01	3605500000176		1	1	21160	2.238			
Pittsford	! Subtotal:	2				2	1	28349	4.468			
Riga												
Pending Approval	RG21002	ANTHONY & AGUSTINO GINEVERA Ginevra Self Storage Site Plan W Buffalo Rd 142.04-1-41.21	150	3605500000284		1	12	61200	7			
Approved	RG21011	John P. Gizzi, owner Site Plan for 5650 Buffalo Road 5650 Buffalo Road 131.030-1-26.1	150	3605500000284		1	2	18600	2.11			
Riga	Subtotal:	2				2	14	79800	9.11			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Rochester												
Approved	RO21002	Amelia Casciani	93.02,94	3605500000508, 3605500000511		1	59	64895	0.47			
		95-121 Howell St (AKA 150 Monroe Ave) - Inner Loop Site 7 95-121 Howell St 121.41-2-34.001										
Approved	RO21003	James Hulse	87.02	3605500000069		1	0	6000	1.8			
		Flower City Roll-Off - Pole Barn & Roll-Off Container Outdoor Storage/Repair 25 Cairn St										
		120.61-1-1.002										
Approved	RO21004	Trish Rissone ESL Federal Credit Union, 250 Lake Ave 250 Lake Ave 105.52-1-15	23	3605500000024		1	1	5928	0.99			
Pending Approval	RO21010	Justin Fallon Dollard U of R - Facilities Operations Center 275 Elmwood Ave 135.67-1-2.001	38.05	3605500000085		1	1	50400	16.22			
Pending Approval	RO21013	Gillian Conde 536 Central Av 536 Central Ave 106.64-2-70	93.01	3605500000013		1	30	41435	0.73			
Rocheste	r Subtotal:	5				5	91	168658	20.21			
Sweden												
Pending Approval	SW21015	PATRICK LLOYD, Owner/Developer 10 EISENHAUER DRIVE 10 Eisenhauer Dr 084.04-1-25.005				3	1	10000	11.5			
Sweder	ı Subtotal:	1				3	1	10000	11.5			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
<u>Webster</u>												
Under Construction	WT21002	Todd Morgan Webster Golf Tee Self Storage Ridge Rd, 1041 Ridge Rd 079.08-1-14, 079.15-1-8.007	112.08	3605500000552		1	654	84000	5.93			
Approved	WT21003	Forest Creek Equity Corp. Salt Road Re-zoning 230 Salt Rd, Salt Rd 050.02-1-38.2, 050.02-1-23.1	113.01	3605500000121		79	79	0	69			
Approved	WT21005	Coastal View Homeowner's Association Coastal View HOA Lands Resubdivision Coastal View Dr 036.03-1-65	113.01	3605500000515		28	0	0	4.38			
Approved	WT21007	Forest Creek Equity Corp. Aberdeen Estates 1740 Salt Rd, 230 Salt Rd 050.02-1-23.1, 050.02-1-38.2	113.01	3605500000121		79	79	0	69			
Webster	Subtotal:	4				187	812	84000	148.31			
	TOTAL:	99				576	3151	4334516	1478.782	2		

TABLE 2 - CUMULATIVE STATUS OF MAJOR PROJECTS: 1992 - 2021

TABLE 2. Cumulative Report on the Status of Major Projects: 1992-2021

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
<u>Churchville</u>												
Approved	CV00-1Z	Village of Churchville										
		Rezoning (Chapter 108 - Zoning District Classifications & Bound Village of Churchville	daries)									
		Subtotal:	Churchville									
Rochester												
Under Constructio	n RO19018	Ray Wetherbee	7	3605500000027		22			3			
		Joseph and Clifford Zoning Map Amendment										
		615 Clifford Ave, 621 Clifford Ave, 625 Clifford Ave, 1 Theodor Street, 2 Theodore Street, 3 Theodore Street, 4 Theodore Street, Theodore Street, 35 Maria Street, 31 Maria Street, 29 Maria Street Maria Street, 23 Maria Street, 36 Maria Street, 34 M	6									
		106.31-3-15, 106.31-3-16, 106.31-3-17, 106.31-3-18, 106.31-3-106.31-3-20, 106.31-3-21, 106.31-3-23.001, 106.32-4-1.001, 106.32-4-37.002, 106.32-4-40.001, 106.32-4-41.001, 106.32-4-2, 106.32-4-34, 106.32-4-32.001, 106.32-4-30.00	6.32-									
		Subtotal:	Rochester			22			3			
		Total:				22			3			
Commercial												
Brighton												
Under Constructio	n BH18019	Anthony Daniele	126	3605500000195		2		83700	10.1			
		Whole Foods Plaza 2740 Monroe Avenue, 2750 Monroe Avenue, 2800 Monroe Avenue 2800 Monroe Avenue 150.07-2-7.1, 150.07-2-8.11, 137.19-2-70.32, 137.19-2-70.68.1	enue,									
		130.07-2-7.1, 130.07-2-8.11, 137.19-2-70.32, 137.19-2-70.08.1										

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Approved	BH20006	Eric Vaughn Johnson Lease of Space (Theatre) 3450 Winton Place #8				1	1	9600				
Pending Approval	BH21013	Paul Colucci 1905 South Clinton Ave, Phase II A 1905 S Clinton Ave, 1925 S Clinton Ave 136.15-1-8.1, 136.15-1-9.1	129	3605500000192		1	2	18400	11.2			
Pending Approval	BH21014	Pemm LL.C - Quicklee's Quicklee's Site Plan and Subdivision 1950 Monroe Ave, 1966 Monroe Ave 137.10-5-1, 137.10-5-2	127	3605500000397		1	1	2500	0.5			
Approved	BH21020	Frank Imburgia 3300 Brighton Henrietta Townline Road -Medical Building 3300 Brighton Henrietta Town Line Rd 149.20-1-3	130.01	3605500000201		1	1	10000	2.2			
		Subtotal	Brighton			6	5	124200	24			
Brockport												
Under Construction	n BK20001	Jerry Fasciano Kwik Fill Brockport M0137 82 North Main Street 069.37-1-25	153.04	3605500000470		1		5286	0.86			
		Subtotal	: Brockport			1		5286	0.86			
<u>Chili</u>												
Under Construction	n CI19031	Howitt-Paul Road, LLC Greenwood Townhomes 751 Paul Road 146.10-3-2	146.02	3605500000435		1		142740	7.7			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Pending Approval	CI19039	John P. Gizzi 4423 Buffalo Road Concept Plan 4423 Buffalo Road 131.20-1-58	145.05	3605500000217				17160	2.2			
Under Construction	CI20039	Northern Soy Inc. Northern Soy Inc. Building Additions 345 Paul Rd 147.01-1-8.211	146.02	3605500000436		0	0	17000	0			
Under Construction	CI21006	Anthony Dichario AmChar Indoor Gun Range 100 Air Park Dr 135.03-1-15.201	146.02	3605500000223		0	0	28275	3.083			
Under Construction	CI21024	Flower City Land LLC Flower City Tree 610 Millstead Way 147.02-1-2.22	146.02	3605500000223		1	1	9760	0			
Approved	CI21063	Ronald Mazza(Owner)- Byrne Dairy & Deli Applicant Byrne Dairy 29 Paul Rd, 31 Paul Rd 147.02-1-26, 147.02-1-27	146.02	3605500000223		2	1	4232	1.75			
		Subtotal:	Chili			4	2	219167	14.733			
Churchville Under Construction	CV19005	Gary Inzana Black Creek Landing 46 Main Street, 48 Main Street 143.13-3-20.1, 143.13-3-31.1	150	3605500000283		1	26	31333	2.5			
Pending Approval	CV20004	Owner: Michael Morris Morris Washington Street 15 Washington St 143.11-1-1.1	150	3605500000283		1	2	10000	1.5			
		Subtotal:	Churchville			2	28	41333	4			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account No	'umber	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Clarkson													
Approved	CK20002	Earnie Haywood Lifetime Assistance Building Addition, 100 Horizon 100 Horizon Park Drive 54.01-1-22.112	n Park Drive	152	3605500000303		1	1	6700	22.5			
		Si	ubtotal:	Clarkson			1	1	6700	22.5			
East Rochester													
Approved	ER19004	Sean Donohoe 115 North Washington Street 115 North Washington Street 139.69-1-17		121	3605500000383		1	1	90000	2.9			
		Si	ubtotal:	East Rochester			1	1	90000	2.9			
Fairport													
Approved	FP18007	Rick Altier 25 Parce Avenue 25 Parce Avenue, 75 North Main Street 153.09-1-69.1, 153.09-1-36.2		118	3605500000158		3		63000	5.57			
Approved	FP20004	Fairport Cannery LLC 75 North Main Street 75 Main Street North 153.09-1-36.2		118	3605500000158		1	3	42775	2.72			
Approved	FP21005	Chris Casa 24-28 N Main Street 24-28 Main Street North 153.09-4-45.2		118	3605500000158		1	0	1450	0.35			
		Si	ubtotal:	Fairport			5	3	107225	8.64			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account	t Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Gates													
Under Construction	GT20006	Gizzi Real Estate Holdings LLC 3035 Buffalo Road 3035 Buffalo Road 118.15-1-54.1		142.02	3605500000236		1	1	15000	1.26			
Under Construction	GT20007	Joe Gizzi 3035 Buffalo Road Site Plan 3035 Buffalo Road 118.15-1-54.1		142.02	3605500000236		1		15600	1.27			
Approved	GT21015	Pemm LLC Quicklee's Site Plan 2055 Chili Ave, 2061 Chili Ave 134.11-2-2, 134.11-2-1		144	3605500000442		1	2	6500	1.7			
Under Construction	GT21021	Joseph Gizzi 3035 Buffalo Road 3027-3035 Buffalo Rd 118.15-1-54.1		142.02	3605500000236		1	1	15000	1.276			
Approved	GT21024	Tom George Westmar Plaza 2159 Buffalo Rd 119.13-1-5.1		144	3605500000238		1	0	110000	14.49			
			Subtotal:	Gates			5	4	162100	19.996			
<u>Greece</u>													
Approved	GR18024	Andrew Gallina South Pointe Landing Rezoning 11 South Pointe Landing 089.03-5-4.122		141.04	3605500000460		1		60000	3.46			
Pending Approval	GR18034	Leonard's Express, Inc. Leonard's Express 1600 Lexington Avenue 089.04-1-2.108		141.04,88,18	3605500000270		1		56000				

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Approved	GR18067	Frank Imburgia AT&T Cellular & Ridgecrest Plaza 1978 West Ridge Road, 1946 West Ridge Road, 24 Newton Rowton Road, 44 Newton Road, 52 Newton Road 74.15-11-01, 74.15-11-02, 74.15-11-03, 74.15-11-04, 74.15-11-74.15-11-27		3605500000260		5		3500	1.26			
On Hold	GR20031	Sonbyrne Sales Inc Byrne Dairy Ridgeway Avenue 2070 Ridgeway Ave 089.15-2-1	141.04,18	3605500000461, 3605500000462		1	2	4232	2.05			
Approved	GR20064	ALEX BOBROV 70 CEDARFIELD COMMONS 70 Cedarfield Commons 045.01-1-7.13	136.03	3605500000246		1	1	15000	1.23			
Approved	GR21038	North Greece Self Storage 400 Allied Way 400 Allied (Pvt) Way 033.03-3-2.112	135.08	3605500000244		1	4	15200	5.02			
Approved	GR21053	Frank Imburgia, FSI Hobby Lobby 1960 W Ridge Rd 074.16-2-22.1	140.03	3605500000260		1	1	56036	5			
Henrietta		Subtotal:	Greece			11	8	209968	18.02			
Approved	HR19013	David Turner Middle Road Mini Storage Middle Road 175.04-1-5	132.04	3605500000423		1		18300	1.763			
Under Construction	HR20007	Thomas C. Wilmot URMC Orthopedica Ambulatory Campus 10 Miracle Mile Drive 161.12-1-1.1/C	131.04	3605500000333		1	1	329090	19.1			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account	Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Under Construction	HR20012	Mr. Mark Williams RIT Innovative Maker & Learning Complex (IMI 1 Lomb Memorial Drive 160.02-1-24.111	LC)	131.03	3605500000204		1		120000	2.4			
Approved	HR20019	Sean Donohoe 4799 West Henrietta Road Development 4799 West Henrietta Rd 175.03-1-3.13		132.05	3605500000410		1	0	3500	5.203			
Under Construction	HR21009	Jim Mulka BMW of Rochester Dealership Expansion 4250 West Henrietta Rd 175.07-1-40.2		132.04	3605500000423		1	2	7200	3.96			
Under Construction	HR21010	Paul White Frontier Car Wash 2199 East Henrietta Rd 162.18-2-1.001, 162.18-2-1.003		131.04	3605500000209		1	0	4800	1.099			
			Subtotal:	Henrietta			6	3	482890	33.525			
<u>Hilton</u>													
Pending Approval	HL21004	MARCO MATTIOLI SITE PLAN FOR MATCO SELF STORAGE 150 Old Hojack Ln, 170 Old Hojack Ln 023.20-1-5.1, 023.20-1-4		148.04	3605500000524		1	11	146880	12			
			Subtotal:	Hilton			1	11	146880	12			
<u>Irondequoit</u>													
Under Construction	IR21004	Ken Perelli 2590 Culver Road - Quicklee's 2590 Culver Rd 092.10-3-2		109.02	3605500000112		1	0	5200	2.15			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account	Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Pending Approval	IR21005	Jay Negrin 1930 E. Ridge Road 1930 E Ridge Rd 077.17-2-60		106.01	3605500000357		1	1	1550	0.65			
Pending Approval	IR21006	Ralph Masters 975 Empire Blvd 975 Empire Blvd 108.05-1-16, 108.05-1-16.1		111	3605500000114		1	1	6000	1.67			
Under Construction	IR21008	Ken Perelli 2590 Culver Road 2590 Culver Rd 092.10-3-2		109.02	3605500000112		1	0	5200	3.242			
Pending Approval	IR21011	Town of Irondequoit Byrne Dairy & Deli Retail Store and Fueling Fac 2180 E Ridge Rd/ Ridgewood Drive 077.18-3-78.1	sility	108	3605500000358		1	0	4232	1.6			
			Subtotal:	Irondequoit			5	2	22182	9.312			
<u>Ogden</u>													
Under Construction	OG19005	Emerald Point Developers, LLC Emerald Point 111 Whittier Road 117.04-3-4.111		149.05	3605500000291		9	373	302300	46.609			
Approved	OG21018	Jason Fowler 4150 Buffalo Road 4150 Buffalo Rd 132.01-2-37.2		149.05	3605500000465		1	0	20800	5.6			
			Subtotal:	Ogden			10	373	323100	52.209			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
<u>Parma</u>												
Approved	PM21001	SARA PUCCIA 210 COLLAMER ROAD 210 Collamer Rd 023.04-2-9	148.04	3605500000524		1	240	38400	4.4			
		Subtotal:	Parma			1	240	38400	4.4			
Penfield												
Under Construction	PN18024	Robert Fallone Crlyn Acquisisions LLC Incentive Zoning Project 2146 Fairport Nine Mile Point Road 140.01-2-71	115.05	3605500000151		2	2	9500	1.3			
Under Construction	PN19005	777 Panorama Properties, LLC Panorama Park Subdivision and Grading 125 Panorama Creek Drive 138.12-1-1	116.04,116.03	3605500000143, 3605500000147				350000	55.3			
Under Construction	PN21011	J J & A Development LLC Healthcare Facility 2070 Empire Blvd 093.02-1-1.121	115.01	3605500000367		1	1	6200	2.43			
Pending Approval	PN21022	Elisabeth Vella 44, 50, 56 Wilbur Tract Road 44 Wilbur Tract Rd, 50 Wilbur Tract Rd, 56 Wilbur Tract Rd 108.10-1-1.113, 108.10-1-1.2, 108.10-1-1.112	115.03	3605500000136		0	1	5440	4.18			
		Subtotal:	Penfield			3	4	371140	63.21			
<u>Perinton</u>												
Approved	PR18010	David Christa 1251 Pittsford-Victor Road 1251 Pittsford-Victor Road, 1251 Pittsford-Victor Road 193.02-1-27.111, 193.02-1-27.112	117.08	3605500000170		2		31200	5.3			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Accou	nt Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Approved	PR21031	Armando Costabile The Tracks 2830 Baird Rd 152.11-1-12.211		119.01	3605500000157		1	0	6210	3.475			
Pending Approval	PR21032	MICHAEL MUSSUMECI MUSSUMECI STORAGE Macedon Center Rd 153.19-1-1		117.03	3605500000159		1	2	7300	1.1			
			Subtotal:	Perinton			4	2	44710	9.875			
Pittsford													
Approved	PT21002	McDonald's Corporation McDonald's Restaurant Prelim/Final Site Plan 3280 Monroe Ave 150.12-1-12	and Special Use F	123.01 Permit	3605500000177		1	0	7189	2.23			
			Subtotal:	Pittsford			1	0	7189	2.23			
<u>Riga</u>													
Pending Approval	RG21002	ANTHONY & AGUSTINO GINEVERA Ginevra Self Storage Site Plan W Buffalo Rd 142.04-1-41.21		150	3605500000284		1	12	61200	7			
Approved	RG21011	John P. Gizzi, owner Site Plan for 5650 Buffalo Road 5650 Buffalo Road 131.030-1-26.1		150	3605500000284		1	2	18600	2.11			
			Subtotal:	Riga			2	14	79800	9.11			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Rochester												
Approved	RO21003	James Hulse Flower City Roll-Off - Pole Barn & Roll-Off Container Outdoor Storage/Repair 25 Cairn St 120.61-1-1.002	87.02	3605500000069		1	0	6000	1.8			
Approved	RO21004	Trish Rissone ESL Federal Credit Union, 250 Lake Ave 250 Lake Ave 105.52-1-15	23	3605500000024		1	1	5928	0.99			
-		Subtotal:	Rochester			2	1	11928	2.79			
Spencerport												
Approved	SP19002	Union Spencerport, LLC 148 South Union Street 148 South Union Street 087.09-11-12	149.01	3605500000466		1	12	17154	0.178			
		Subtotal:	Spencerport			1	12	17154	0.178			
Sweden												
Pending Approval	SW21015	PATRICK LLOYD, Owner/Developer 10 EISENHAUER DRIVE 10 Eisenhauer Dr 084.04-1-25.005				3	1	10000	11.5			
		Subtotal:	Sweden			3	1	10000	11.5			
Webster												
Approved	WT19001	Webster Woods Plaza IV, LLC Webster Woods Car Wash 801 Ridge Road 079.17-1-85	112.07	3605500000129		1	1	5000	2.37			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Accoun	nt Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Under Construction	WT20004	Lefrois Builders and Developers URMC Medical Building - Hard Road 875 Publishers Parkway 079.06-1-32.122		112.05	3605500000123		1	1	29000	5.6			
Under Construction	WT21002	Todd Morgan Webster Golf Tee Self Storage Ridge Rd, 1041 Ridge Rd 079.08-1-14, 079.15-1-8.007		112.08	3605500000552		1	654	84000	5.93			
			Subtotal:	Webster			3	656	118000	13.9			
			Total:				78	1371	2639352	339.888			
Community S	<u>ervices</u>												
<u>Brighton</u>													
Approved	BH04-54Z	The University of Rochester U of R IPD Rezoning Request I-390 to Crittenden Road				613				189			
Pending Approval	BH21011	Justin Dollard University of Rochester Laboratory for Laser E 250 E River Rd 148.11-1-4.1	inergetics Expansion	130.01 on	3605500000332		1	0	55000	166			
			Subtotal:	Brighton			1	0	55000	355			
<u>Chili</u>													
Under Construction	CI12-10AZ	Turkish Society of Rochester New Mosque, Religious School 677 Beahan Road 134.15-1-11		145.04	3605500000434	620	1		8100	11.24			
Under Construction	CI20030	Chili Fire Department preliminary site plan 3231 Chili Ave 146.09-2-19.1		146.02	3605500000435		1	1	20000	12.1			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Accoun	t Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
			Subtotal:	Chili			2	1	28100	23.34			
Clarkson													
Approved	CK21003	Ernie Haywood Lifetime Assistance 100 Horizon Park Dr 054.01-1-22.112		152	3605500000303		1	1	6700	1			
			Subtotal:	Clarkson			1	1	6700	1			
Gates													
Under Construction	GT16-4ZS	Rev. Anthony Iwunor Faith Outreach Ministry Church Buffalo Road 118.15-1-36; 118.15-1-41.1		142.04	3605500000233	620	1	1	18180	1.559			
			Subtotal:	Gates			1	1	18180	1.559			
Greece													
Approved	GR17-17Z	DVL1, LLC Town Center Development		136.04	3605500000250	642	5		15000	15.2			
		045.3-4-1.0; 045.3-4-2.0; 045.3-4-3.0; 045.3-4-045.3-4-17.11	4.0; 045.3-4-20.1	11;									
Under Construction	GR20009	Villa of Hope Site Plan Villa of Hope / Minor Subdivision 3300 Dewey Avenue 060.64-3-16		138	3605500000263			2	12065	3.15			
Under Construction	GR21043	Rochester Academy Charter School Rochester Academy Gymnasium 1757 Latta Rd 046.14-8-1.1		136.01	3605500000452		1	1	12276	4			
			Subtotal:	Greece			6	3	39341	22.35			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
<u>Henrietta</u>												
Approved	HR16-20Z	Mr. Thomas O'Connor Al Sigl Center - Hale Campus Building Application 3399 South Winton Road 162.12-1-19.12	131.01	3605500000336	640	1		8500	9.13			
Under Construction	HR18024	Pany Chounlapane and Roy Davis Buddhadham Temple 135 Martin Road 201.01-1-2.1	132.06	3605500000428		1		9920	60.85			
Under Construction	HR20002	Thomas C. Wilmot UR Medicine Orthopaedics & Physical Oerformance Center 10 Miracle Mile Drive 161.12-1-1.1/B, 161.12-1-1-1/C, 161.12-1-1.1	131.04	3605500000333		1		480000	20.2			
Approved	HR21017	Mr. Reginald Allen CHS Mobile Expansion 280 Calkins Rd, 292 Calkins Rd 175.08-1-3, 175.08-1-4	131.04	3605500000411		1	0	7200	2.17			
		Subtotal:	Henrietta			4	0	505620	92.35			
<u>Parma</u>												
On Hold	PM11-4Z	Parma Christian Fellowship Multi-Use Building for Church/pre-Kindergarten School 590 North Avenue 024.01-2-4	148.04	3605500000468	620	1		11000	57			
Approved	PM21009	1919 NORTH UNION LLC TLC ADVENTURES IN CHILD CARE 1919 N Union St 072.03-1-4.1	148.02	3605500000469		1	1	11068	3.594			
		Subtotal:	Parma			2	1	22068	60.594			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Accoun	nt Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Rochester													
Under Construction	RO19011	Mike Zanghi Highland Hospital's Patient Tower Addition Pro 1000 South Avenue 136.24-1-1.001	oject	35	3605500000037		1	1	72100	9.28			
			Subtotal:	Rochester			1	1	72100	9.28			
Rush													
Pending Approval	RU20023	Karuppiah Natarajan Sri Vidya New Temple 6970 East River Rd, 6980 East River Rd 212.01-1-42.002, 212.01-1-42.001		133	3605500000275		2	1	2280	5.5			
			Subtotal:	Rush			2	1	2280	5.5			
Wheatland													
Under Construction	WH04-3Z	Community Gospel Church Community Gospel Church 715 Browns Road 187.03-01-61		147	3605500000280	620			12150	11.2			
			Subtotal:	Wheatland					12150	11.2			
			Total:				20	9	761539	582.173			
<u>Industrial</u>													
<u>Chili</u>													
Pending Approval	CI15-38ZS	Smattl Holdings, LLC Black Creek Industrial Park 3513 Union Street 145.03-1-1.2		146.01	3605500000220	700	8			24.88			
Under Construction	CI15-53AZ	William Mulligan Genesee Valley Regional Market 1861 Scottsville Road 160.01-1-11		146.02	3605500000222	700			80500	82.3			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Accou	nt Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Approved	CI20002	3508 US, Inc. 3508 Union Street 3508 Union Street 145.03-1-5		146.01	3605500000220		1	1	5000	0.87			
Under Construction	CI21003	James Sydor Sydor Optics 39 Jetview Dr 147.06-1-73.1		145.04	3605500000434		1	0	52500	4.39			
			Subtotal:	Chili			10	1	138000	112.44			
<u>Churchville</u>													
Under Construction	CV17-3Z	Francois Lachance Star of the West Improvements 35 South Main Street 143.13-2-45; 143.13-2-54; 143.13-2-53; 143.1	3-2-52; 143.13-2-:	150	3605500000283		1		31600	7.985			
			Subtotal:	Churchville			1		31600	7.985			
<u>Fairport</u>													
Approved	FP20001	Lucas Coolidge Corning-Fairport Building Addition 60 O'Connor Road 152.12-2-1.1		118	3605500000157, 3605500000158		1	1	28960	13.12			
Approved	FP21006	Lucas Coolidge		118	3605500000157, 3605500000158		1	0	10000	13			
		Corning Tropel Annex Addition 60 O'Connor Rd 152.12-2-1.1											
-			Subtotal:	Fairport			2	1	38960	26.12			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
<u>Gates</u>												
Under Construction	GT20018	TC Pursuit Services, Inc Project ROC-1 2600 Manitou Rd 118.05-1-15	142.02	3605500000232		0	0	3800000	100.85			
Approved	GT20019	TC Pursuit Services, Inc Project ROC-1 Variance Application 2600 Manitou Rd 118.05-1-15	142.02	3605500000232		0	0	3800000	10			
		Subtotal:	Gates			0	0	7600000	110.85			
Greece												
Under Construction	GR14-12Z	Atlantic Funding Construction of Three (3) Flex Buildings Pinewild Drive 089.04-1-14.12	141.04	3605500000461	700	1		75400	22.7			
Under Construction	GR16-89Z	DuPont 1700 Lexington Avenue 1700 Lexington Ave 089.83-2-35	141.04,88	3605500000270	710			50000	19			
Approved	GR18015	Ridgeway Properties LiDestri ECO Industrial Park-Industrial Space 50 Mc Laughlin Road, 50 Mc Laughlin Road 090.09-1-21, 089.04-1-3.2, 090.09-1-20, 090.09-1-19, 090.09-1-18 090.09-1-17, 090.09-1-16	141.04	3605500000270				280000	124			
Approved	GR19029	1031 Janes Road, LLC 1031 Janes Road 1031 Janes Road 045.01-1-8	136.03	3605500000246			3	57000	6.4			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Approved	GR21054	Owner-Ridgeway Properties I, LLC(c/o Conductor Property Management) Li-Cycle North America Hub, Inc. 50 McLaughlin Road & 205 McLaughlin Road 50 McLaughlin Rd, 205 McLaughlin Rd 089.04-1-3.22, 089.04-1-3.21	141.04,18	3605500000270		2	0	587937	119.48			
Approved	GR21062	Frederick Geiger Site Plan 330 N. Greece Rd 330 North Greece Rd 033.04-2-52	135.03	3605500000244		0	0	6925	0.937			
		Subtotal:	Greece			3	3	1057262	292.517			
<u>Hamlin</u>												
Approved	HM10-36Z	Thomas McNulty VP Precision Chemical Systems, Inc. 3 Railroad Avenue 021.020-1-14.1	151.01	3605500000307	700	1	1	6000	7.71			
		Subtotal:	Hamlin			1	1	6000	7.71			
<u>Henrietta</u>												
Under Construction	n HR17-13S	Mr. Rich LeFrois Winegrass Business Park West of John Street & North of Lehigh Station Road 174.02-1-15.1;174.02-1-44.3;174.02-1-15.2	132.05	3605500000211	700	11			69.3			
Under Construction	n HR19015	Mr. Sean Donohoe Clay Road Industrial Site Clay Road 162.09-1-11, 162.09-1-12	131.04	3605500000335		2		130000	31.51			
Under Construction	n HR19018	Paul Kirik Cook Korner Building Cook Drive 161.11-1-22.117	131.04	3605500000409		1		50000	10.11			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account	Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Pending Approval	HR20009	Mr. Fred J. Rainaldi Riverwood Tech Campus - Building E 4545 East River Road 174.03-2-1.122		132.05	3605500000421		1		40625	10.2			
Under Construction	HR20022	Richard LeFrois MS International at Wiregrass Park Wiregrass Pkwy 174.02-1-15.112		132.05	3605500000211		1	0	84670	6.381			
Pending Approval	HR21003	Sean Donohoe Clay Road North - Proposed Manufacturing Faci Clay Rd 162.09-1-11.1	lity	131.04	3605500000335		1	0	120000	13.015			
Pending Approval	HR21011	Chip Overbey Old Dominion Freight Line Facility Expansion 15 Transport Dr 161.10-1-20		131.04	3605500000409		1	0	16488	6.48			
Pending Approval	HR21014	Rick Lemcke Lemcke Family LLC Bri-Hen Town Line Rd 148.20-1-22.1		131.04	3605500000413		1	0	38120	5.7			
Pending Approval	HR21018	Michael Trojian Coopervision Expansion 180 Thruway Park Dr, 230 Thruway Park Dr 188.02-1-62.1, 188.02-1-59.1		132.06	3605500000214		1	0	152950	21.4			
			Subtotal:	Henrietta			20	0	632853	174.096			
<u>Hilton</u>													
Approved	HL20001	Engels Gualdani Re-Subdivision 6 Upton St, 9 Upton St 032.06-3-37.002, 032.06-3-37.001		148.04	3605500000295		2	1	5200	1.33			
			Subtotal:	Hilton			2	1	5200	1.33			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account	Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
<u>Ogden</u>													
Under Construction	OG20014	Tim Webber Proposed Warehouse Facility 90 Shepard Rd, 355 Paragon Dr 102.04-2-37.211, 102.04-3-2.1		149.06	3605500000289		1	1	278500	71.39			
Approved	OG21006	Eric DeMarte 55 & 60 Regency Oaks 55 Regency Oaks Blvd, 60 Regency Oaks Blvd 132.02-2-7.15, 132.02-2-7.16		149.05	3605500000521		2	1	45000	13.78			
Pending Approval	OG21010	Tim Weber 0 - Gillett Road, Town of Ogden 0 Gillett Rd 117.02-1-6.111		149.05	3605500000291		1	1	385000	87			
Approved	OG21012	Emerald Point Developers, LLC Advantech Industries Building Expansion 3850 Buffalo Rd 117.04-3-4.113		149.05	3605500000291		1	0	48750	12.2			
-			Subtotal:	Ogden			5	3	757250	184.37			
<u>Parma</u>													
Pending Approval	PM20016	Joseph Sortino 1635-1637 Manitou Road 1635 Manitou Rd, 1637 Manitou Rd 072.02-2-1, 072.02-2-2		148.02	3605500000297		1	0	35000	9.7			
			Subtotal:	Parma			1	0	35000	9.7			
Perinton													
Approved	PR17-10Z	Marco Marzocchi Woodcliff VII Office Development NYS Route 96 193.02-3-10.112		117.08	3605500000381	700	1	1	120000	9.42			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account N	Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Approved	PR20002	Christopher A. DiMarzo 90 O'Connor Road 90 O'Connor Road 152.12-1-5, 152.12-1-6, 152.12-1-7, 152.12-1-8		118	3605500000157		1		30800	2.62			
		.5	Subtotal:	Perinton			2	1	150800	12.04			
Pittsford													
Under Construction	PT21003	West Linden Properties, LLC 920 Linden Avenue 920 Linden Ave 138.16-1-13.1		122.01	3605500000176		1	1	21160	2.238			
		S	Subtotal:	Pittsford			1	1	21160	2.238			
Rush													
On Hold	RU17-3Z	James Casey Comet Flasher Site Plan 7575 West Henrietta Rd. 212.04-1-29		133	3605500000276	700	1	3	34650	9.12			
		5	Subtotal:	Rush			1	3	34650	9.12			
		1	Total:				49	15	10508735	950.516			
Mixed Use													
Churchville													
Under Construction	CV20001	Ram Shrivastava Black Creek Commons 32 East Buffalo Street 143.10-1-37		150	3605500000283		1	10	6415	0.75			
Pending Approval	CV21002	Al Spaziano BLACK CREEK COMMONS 32 E Buffalo St 143.10-1-37		150	3605500000283		1	10	36977	0.849			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
		Subtotal:	Churchville			2	20	43392	1.599			
Clarkson												
Approved	CK14-6ZS	Al Spaziano Rezoning - Brookfield at Clarkson Subdivision East Avenue 69.02-1-1.21	152	3605500000304	400	1	391	242100	32	✓		
Approved	CK15-8Z	Al Spaziano, Atlantic Funding & Real Estate LLC Brook Field at Clarkson/Rezoning 069.02-1-1.23; 069.02-1-1.22; 069.02-1-21	152	3605500000304	400	3	270	330000	31.1			
		Subtotal:	Clarkson			4	661	572100	63.1			
<u>Gates</u>		Subtotu.	Chirkson			7	001	372100	03.1			
Approved	GT21026	Tom George Westmar Plaza 2159 Buffalo Rd 119.13-1-5.1	144	3605500000238		1	0	159000	14.49			
		Subtotal:	Gates			1	0	159000	14.49			
Penfield												
Pending Approval	PN21006	Penfield Heights, LLC Excelsior Penfield Apartments 1810 Frpt Nine Mile Pt Rd, 1820 Frpt Nine Mile Pt Rd 125.01-1-25.2, 125.01-1-25.1	115.05	3605500000373		2	127	192691	6.63			
Pending Approval	PN21017	Penfield Heights, LLC Penfield Heights 1820 Frpt Nine Mile Pt Rd, 1810 Frpt Nine Mile Pt Rd 125.01-1-25.1, 125.01-1-25.2	115.05	3605500000373		1	132	216892	6.6			
Pending Approval	PN21020	Pathstone Development Corporation 1801 Fairport Nine Mile Pt Rd Apartments 1801 Frpt Nine Mile Pt Rd, 1787 Frpt Nine Mile Pt Rd 125.01-1-33.11, 125.01-1-3.111	115.04	3605500000146		0	136	203371	10.6			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account	t Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Pending Approval	PN21032	Ralph DiTucci		115.04	3605500000140		4	101	149764	73			
		The Arbors at Penfield											
		1611 Frpt Nine Mile Pt Rd, 1615 Frpt Nine Mil Nine Mile Pt Rd, 1657 Frpt Nine Mile Pt Rd, 12 3278 Atlantic Ave											
		110.03-1-4.212, 110.03-1-4.205, 110.03-1-25.2, 110.03-1-4.206, 110.03-1-24	, 110.03-1-25.1,										
Pending Approval	PN21036	Luis Ribeiro					2	16	33630	0.73			
		Penfield Square - Proposed Mixed-Use Building											
		100 YMCA Way, 300 YMCA Way, 1821 Frpt											
		125.01-1-25.34, 125.01-1-25.33, 125.01-1-25.3											
			Subtotal:	Penfield			9	512	796348	97.56			
Rochester													
Approved	RO21002	Amelia Casciani		93.02,94	3605500000508, 3605500000511		1	59	64895	0.47			
		95-121 Howell St (AKA 150 Monroe Ave) - Inn	er Loop Site 7										
		95-121 Howell St 121.41-2-34.001											
			Subtotal:	Rochester			1	59	64895	0.47			
			Total:				17	1252	1635735	177.219			
Non Retail C	<u>ommercial</u>												
Brighton													
Under Construction	n BH17-31ZS	Paul Colucci		129	3605500000192	400	3		77000	11.2			
		1925 South Clinton Avenue											
		1925 South Clinton Avenue 136.15-1-7; 136.15-1-8; 136.15-1-9											
Under Construction	n BH17-3ZS	Craig Antonelli		130.01	3605500000404	440	1		72725	8.48			
		College Town Self Storage 1266 Brighton Henrietta Townline Road 148.19-1-7;148.19-1-8;148.19-1-9;148.19-1-10											
			Subtotal:	Brighton			4		149725	19.68			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Numbe	Census r Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
<u>Chili</u>												
Under Construction	CI14-41AZ	Ronald DiChario DiChario Office Building 50 Air Park Drive 135.03-1-16.122	146.02	3605500000223	464	1		5960	3.56			
		Subtota	al: Chili			1		5960	3.56			
Gates												
Approved	GT16-10ZS	Brongo Contractinco & Suppy 2548 Manitou Road 2548 Manitou Road 103.17-0001-007.1	142.02	3605500000232	400	2		43200	15.98			
		Subtoto	al: Gates			2		43200	15.98			
Greece												
Approved	GR11-99S	300 Canal Ponds, LLC; Cassara Mgt. Canal Ponds Business Park Resubdivision Canal Landing Blvd. 089.03-4-24.2; 089.3-04-24.1; 089.04-1-12.1; 089.04-1-1.2; 104.07-1-1.1	141.04 13; 104.07-1-	3605500000461	400	6			45.6			
Approved	GR14-82Z	DVL1 LLC Rezoning 3069; 3081 Latta Road 045.03-4-3; 045.03-4-4	136.04	3605500000250	400			75000	11.4			
Approved	GR15-73Z	999 Long Pond LLC Rezoning 995, 999; 19 Long Pond Road; Mill Road 059.03-4-16.1; 059.03-4-17; 059.03-4-18	135.06	3605500000450	465	1		65000	7.28			
Approved	GR16-35Z	Kim Coco-Kozlowski Rezoning 1739 Ridgeway Avenue 89.12-3-1	141.04	3605500000270	430	1	1	5200	0.66			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Accou	nt Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
			Subtotal:	Greece			8	1	145200	64.94			
<u>Henrietta</u>													
Approved	HR16-21Z	Ms. Katharine Van Zile		131.01,130.01	3605500000416, 3605500000201	450	1		18200	4			
		Van Zile Travel Building #2 3540 Winton Place 150.17-2-6.12			3003300000201								
			Subtotal:	Henrietta			1		18200	4			
Honeoye Falls													
Under Construction	HF17-4ZS	NOTMI Corporation Norton Station Mini Storage Carriage Street 228.07-2-38.31		124.01	3605500000273		2		8800	12.97			
-			Subtotal:	Honeoye Falls			2		8800	12.97			
<u>Ogden</u>													
Approved	OG10-5Z	Richard Gilmore Arborview Business Centre Business Centre Drive 102.04-2-29.11		149.04	3605500000289	440	1		64750	8.07			
Approved	OG14-2Z	Edgar M. Storm, Jr. Rezoning 2425 Union Street 101.04-2-2.2		149.03	3605500000288	440	1			10.417			
			Subtotal:	Ogden			2		64750	18.487			
Pittsford													
Under Construction	PT15-7Z	National Amusements, Inc. Panorama Landing Panorama Trail; North Washington Street 139.13-1-2; 139.12-1-1		122.01,120	3605500000176, 3605500000382	464	2		110000	19.49			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Accoun	t Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
			Subtotal:	Pittsford			2		110000	19.49			
			Total:				22	1	545835	159.107			
<u>Other</u>													
Brighton													
Under Construction	BH18043	Genesee Valley Group Health Association Helio Health, Inc. 1850 Brighton-Henrietta Townline Road, 1850 Townline Road 148.20-2-75.1, 148.20-2-75.2	Brighton-Henriett	130.01 a	3605500000197		1		22004	5.43			
			Subtotal:	Brighton			1		22004	5.43			
Clarkson													
Under Construction	CK19010	Borrego Solar Systems Inc. Borrego Solar - 2668 Redman Road 2668 Redman Road 028.03-1-21, 028.04-1-18					2			84.971			
			Subtotal:	Clarkson			2			84.971			
Gates													
Approved	GT21011	Brad A. White Westside Professional Landscape Subdivision 2565 Buffalo Rd, 2551 Buffalo Rd 118.16-1-54, 118.16-1-53		142.02	3605500000439		1	5	10165	2.4			
Pending Approval	GT21034	Stephen Galvano Rochester Christian Church Ministries 3235 Lyell Rd, 3177 Lyell Rd 103.20-3-31, 104.17-1-1		142.04	3605500000229		2	0	29938	8.6			
			Subtotal:	Gates			3	5	40103	11			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Greece												
Approved	GR07-27Z	John L. DiMarco, II Rezoning 4320 West Ridge Road 073.01-2-63; 073.01-2-64.111; 073.01-2-64.12; 073.01-2-64.2; 073.01-2-68; 073.01-1-2.1; 073.01-1-2.3; 073.01-1-2.4; 073.01-1-073.01-1-2.6; 073.01-1-2.7	135.06 2.5;	3605500000252					67.1			
Approved	GR08-2Z	Town of Greece Town Board Rezoning Long Pond Road to Manitou Road	141.04	3605500000460					513			
Approved	GR14-77Z	Town of Greece Rezoning 3216-3242 Latta Road 045.03-1-12; 045.03-1-13; 045.03-1-14; 045.03-1-15	135.07	3605500000445	400	2		79000	17.44			
		Subtotal:	Greece			2		79000	597.54			
<u>Ogden</u>												
Under Construction	OG20005	T. RICHARD GREER ROBERTS WESLEYAN COLLEGE GOLISANO COMMUNITY CENTER 3 Nelson Morton Dr, Westside Dr, 2280 Westside Dr, 2288 West Dr, 2290 Westside Dr 132.01-2-59.31, 132.01-2-67, 132.01-2-68, 132.01-2-69, 132.01-2	eside	3605500000465		1	1	21400	25.8			
Pending Approval	OG21005	Valentino Visca Parkview Townhomes Union Street & Big Ridge Road Rezoning Union St 087.01-1-24.111	149.06	3605500000464		0	84	0	24.8			
		Subtotal:	Ogden			1	85	21400	50.6			
Penfield												
Approved	PN21007	Penfield CSD - Dan Driffill Penfield CSD Transportation/Buildings and Grounds Facility 1364 Jackson Rd 095.03-1-35	115.01	3605500000135		1	0	29800	40.1			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Accoun	t Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
-			Subtotal:	Penfield			1	0	29800	40.1			
Pittsford (V)													
Pending Approval	PV12-2Z	Pittsford Canalside Properties, LLC Westport Crossing 75 Monroe Avenue 151.170-0003-003		123.01	3605500000386	280		167	6000	7.5	✓		
			Subtotal:	Pittsford (V)				167	6000	7.5			
Rochester													
Under Construction	RO17-15ZS	Steve Dubnik, Strong Museum of Play Strong Museum Neighborhood of Play 1 & 15 Manhattan Dr, 47 & 55 Savannah St, In Site 4 & 5 121.33-1-5.001;121.33-1-4;121.33-1-6.001;121		94 ment	3605500000508	480	5	250	553000	18.18			
Pending Approval	RO19015	City of Rochester Rochester West River Wall Improvements Phas West side of Genesee River along Exchange B Cornhill Landing. 121.62-1-44.01		95 o	360550000010		19			3.3			
Pending Approval	RO21010	Justin Fallon Dollard U of R - Facilities Operations Center 275 Elmwood Ave 135.67-1-2.001		38.05	3605500000085		1	1	50400	16.22			
			Subtotal:	Rochester			25	251	603400	37.7			
-			Total:				35	508	801707	834.841			
Public Service	<u>es</u>												
Clarkson													
Approved	CK21005	Clarkson Renewables 2, LLC Clarkson Renewables 2, LLC. 0 West Avenue 067.02-1-1		152	3605500000303		1	0	0	63.65			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Accoun	t Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
			Subtotal:	Clarkson			1	0	0	63.65			
Rochester													
Approved	RO20009	Scott Garceau 385 E. Ridge Rd. 385 E Ridge Rd 091.39-1-47		47.01	3605500000074		1	16	13122	0.45			
			Subtotal:	Rochester			1	16	13122	0.45			
<u>Sweden</u>													
Under Construction	SW19005	Mike Lossia Helios Energy New York Sweden Solar Farm West side of Lake Road at intersection of Swar 098.04-1-2.1	np Road	154	3605500000298		1			53			
			Subtotal:	Sweden			1			53			
			Total:				3	16	13122	117.1			
Recreation &	Entertain	<u>ment</u>											
Perinton													
Approved	PR20014	Glenn Collins Update of Special Use Permit 2830 Baird Rd 152.11-1-12.212, 152.11-1-12.21		119.01	3605500000157		1	1	26000	2.675			
			Subtotal:	Perinton			1	1	26000	2.675			
Pittsford													
Under Construction	PT17-2Z	Greater Rochester YMCA New Family Branch YMCA 2300 West Jefferson Road 163.02-1-13; 163.02-1-15; 163.02-1-16		123.01	3605500000331	543	1		140000	19.2			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Under Construction	PT20003	Chad Ellis	123.01,122.01	3605500000384, 3605500000174, 3605500000177			32		0.93			
		Oak Hill Country Club Cottages 145 Kilbourn Road 138.17-1-13.111										
		Subtotal:	Pittsford			1	32	140000	20.13			
		Total:				2	33	166000	22.805			
Residential												
<u>Brighton</u>												
Under Construction	BH08-22ZS	Town of Brighton			281	50	350		63			
		The Reserve Residential Community										
		149.070-01-004;149.110-01-053;149.110-01-002;149.070.01	-008									
Under Construction	BH10-20ZS	Anthony J. Costello & Son	130.01	3605500000400	280	33	327	654813	65			
		The Reserve South of I-590; East of S. Clinton Avenue; North of Erie Can of Meridian Centre Park 149.07-1-8; 149.07-1-4; 149.11-1-53; 149.11-1-2.1	al; West									
Under Construction	BH12-12ZS	Anthony J. Costello & Son	130.01	3605500000400	280	50	108	655615	65			
		The Reserve South of I-590; East of S. Clinton Avenue; North of Erie Can of Meridian Centre Park 149.07-1-8; 149.07-1-4; 149.11-1-53; 149.11-1-2.1	al; West									
Under Construction	BH12-33ZS	Anthony J. Costello & Son	130.01	3605500000400	200	72	191	654813	65			
		The Reserve on The Erie Canal - Section 2 South of I-590; East of S. Clinton Avenue; North of Erie Can of Meridian Centre Park 149.07-1-8; 149.07-1-4; 149.11-1-53; 149.11-1-2.1	al; West									
Under Construction	BH15-14ZS	Bill Daly	130.01	3605500000400	200	1	35	75000	7.5			
		The Reserve - Brewerton Redesign Cos Grande Heights 149.11-2-44 to 149.11-2-69										

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Num	Census iber Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Under Construction	BH15-29ZS	Bill Daly The Reserve - Brewerton Redesign Cos Grande Heights 149.11-2-44 to 149.11-2-69	130.01	3605500000400	200	1	35	75000	7.5			
Approved	ВН19012	Ami Notis, P.M., Excelsior Communities Brighton Village Luxury Apartments 1625 Crittenden Road, 1625 Crittenden Road, 1625 C 148.16-1-1, 148.16-1-3, 148.16-1-4	130.01 Crittenden Road	3605500000404		5	432		26.8			
		Sub	total: Brighton			212	1478	2115241	299.8			
Brockport Under Construction	BK01-2S	Chromium Development LLC Havenwood Meadows - Section III McCormick Lane 069.100-5-008	153.02	3605500000470	210	65			23		•	
Under Construction	BK02-1ZS	Tra-Mac Builders Remington Woods West Avenue; Redman Road 068.10-1-001.1	153.02	3605500000470	210/400	229	6		117			
Under Construction	BK05-1S	Michael Ferrauilo, Canalside Development Sunflower Landing 480 East Avenue 069.100-05-008.1	153.02	3605500000470	281	44	181		52.96		•	
Approved	BK08-5ZS	Michael Ferrauilo, Sr. Sunflower Landing Subdivision - Section 2 Anita's Lane 069.100-05-008.101			200	3	10	20200	52.9		•	
Approved	BK11-2ZS	Michael Ferrauilo, Sr. Sunflower Landing Subdivision - Section 3 Anita's Lane 069.100-5-8.1	153.02	3605500000470	200	3	31	62900	52.9		•	

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Under Construction	BK17-4ZS	Adam Tellier Havenwood Development (McCormick Place - Phase 3) McCormick Lane 069.10-5-8.211	153.04	3605500000470	210	18	18		22		•	
		Subtotal:	Brockport			362	246	83100	320.76			
<u>Chili</u>												
Under Construction	CI03-21S	Black Creek Estates, LLC Black Creek Estates/Ballaqua Manor 159 Chili Scottsville Road 158.02-1-8	146	3605500000435	210	48			56.5			
Approved	CI05-46S	Ignazzio Battisti Battisti Subdivision 29; 221, 227; 24 Stone Barn Road; Golden Road; Sutters Run 132.16-1-30.1; 132.16-1-31; 132.16-1-37	145.01	3605500000430	210	17			33			
Under Construction	CI13-42S	Gary Pooler Vista Villas Prestwick Lane 146.15-2-4; 146.15-2-5; 146.15-2-6; 146.15-2-7; 146.15-2-8	146.02	3605500000222	210	28			260			
Approved	CI14-39S	Archer Road Vista LLC Vista Vilas Subdivision 100 Club House Drive 146.19-1-1.111	146.02	3605500000222	210	174			260			
Under Construction	CI16-6S	DSB Engineers Rose Hill Estates Subdivision 75;89 Beaver Road 159.01-1-2.1;159.01-1-3.1	146.02	3605500000221	210	2	161		176.2			
On Hold	CI17-27Z	Ignazio Battisti Rezoning 223; 225; 227; 229; 219 Golden Road & 29-31 Stone Barn Road 132.16-2-76; 132.16-2-77; 132.16-2-78; 132.16-1-30.1; 132.16-1-37.2; 132.20-1-1; 132.20-1-3.11	145.01	3605500000430		7	52		53.41			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Under Construction	CI20006	Roger Brandt Hubbard Spring Apartments 154 Union Square Blvd, 3321 Union St 144.08-1-6.14, 144.08-1-6.4	145.05	3605500000217			72					
Under Construction	CI20014	James Perna Gilead Pond Subdivision 160B King Rd 145.05-1-39.1	145.05	3605500000518		8	0	0	9.33			
Approved	CI21043	Joe Fallone 93 King Road 93 King Rd 145.06-1-6.114	145.05	3605500000518		23	0	0	0			
Under Construction	CI95-45S	Robert Fallone, Inc. King Forest Estates Subdivision 100 Marino Drive 145.06-1-6.11	145.02	3605500000217	210	200			161			
<u>Churchville</u>		Subtotal:	Chili			507	285	0	1009.44			
Pending Approval	CV17-2Z	Al Spaziano Black Creek Commons 32 East Buffalo Street 143.10-1-37	150	3605500000283		1	38	24546	4.05			
Under Construction	CV18001	Joseph Sortino Villas at Churchville, Phase 4 Gilman Road at Washington Street, Gilman Road at Washin 143.06-1-25.11, 143.06-1-26.11	150 gton Street	3605500000284		20	20		3.79			
Under Construction	CV19007	Gary Inzana Black Creek Landing 46 & 48 Main Street, (NYS Route 36) 143.130-03-020.1, 143.130-03-031.1				1	26	31333	2.5			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Under Construction	CV20003	Joseph Sortino VILLAS AT CHURCHVILLE, PHASE 5 NA Gilman Rd 143.06-1-25.111	150	3605500000284		20	20	0	4.71			
		Subtotal:	Churchville			42	104	55879	15.05			
Clarkson												
Approved	CK08-7S	Theodore Antonucci, Sr. Double "A" Ranch Subdivision 1881 Clarkson Parma Town Line Road 031.03-1-8.21			210	6			8.9			
Under Construction	CK09-1Z	William Holding Liberty Cove Subdivision Mission Hill Drive 069.01-01-1.12; 054.18-03-41	152	3605500000304	210	28			35.4			
Approved	CK19012	Robert Cintron Cintron Subdivision Sweden Walker Road, 1925 ft North of Ridge Road West 055.03-1-13.12	152	3605500000305		6	4	8000	111.91			
Approved	CK20005	Jack Finnigan Zerniack Subdivision 8684 Ridge Rd, 8660 Ridge Rd, 8648 Ridge Rd, Ridge Rd, Findinge Rd, Findin	-	3605500000303		4	0	0	36.437			
Approved	CK20009	Donald Cook West Cook Re-Subdivision 9373 Ridge Rd, Ridge Rd, 9367 Ridge Rd 053.01-1-2.21, 053.01-1-5, 053.01-1-2.111	152	3605500000303		5	0	0	0			
Approved	CK21004	DONALD COOK WEST COOK RE-SUBDIVISION 9367 Ridge Rd 053.01-1-2.111	152	3605500000303		5	0	0	0			
-		Subtotal:	Clarkson			54	4	8000	192.647			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Gates												
Under Construction	GT	Premier Homes, Inc. Parkview Place 3990, 4060 Lyell Road 103.14-1-007	142.02	3605500000225	411	5	112		31			
Under Construction	GT08-22ZS	Robert Marcello The Villas at Coldwater 351 Coldwater Road 133.06-1-1; 118.18-1-15.2	142.02	3605500000236	210	5	170		57			
Approved	GT16-9Z	Buttarazzi Construction, Inc. Tuscan Woods-837R Spencerport Road 837R Spencerport Road 104.13-01-001	142.03	3605500000438	411	1	32	47000	5.6			
Approved	GT19025	Robert Cain Churchview Commons 1049 Wegman Road 119.09-1-47	142.04	3605500000233		1	45	54500	7.8			
Approved	GT20003	Robert Cain Churchville Commons 1049 Wegmans Road 119.09-1-47	142.04	3605500000233		1	45	54500	7.8			
Approved	GT21009	Al Spaziano Gates Townhouses 150 Canal Landing Blvd 104.07-1-1.111	143.01	3605500000227		1	48	104000	7.5			
Approved	GT21010	898 Buffalo Road Associates, LLP	143.02,144	3605500000238, 3605500000235, 3605500000442, 3605500000240, 3605500000443		1	158	66000	10			
		Doud Apartment Homes Chili Ave, 898 Buffalo Rd 119.20-3-1./GC, 119.08-1-36										

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Approved	GT21028	Pathstone Development Corp. Churchview Commons 1049 Wegman Rd 119.09-1-47	142.04	3605500000233		1	48	0	0			
Approved	GT21032	Steve Licciardello Rezone 1010 Spencerport Rd, 1020 Spencerport Rd, 1032 Spencerport Rd 1036 Spencerport Rd 103.12-2-79, 103.12-2-78, 103.12-2-77, 103.12-2-65	142.03	3605500000226		4	12	0	0			
Approved	GT21038	Steve Licciardello Lightwood Townhomes 1036 Spencerport Rd 103.12-2-65	142.03	3605500000226		1	12	16200	2.05			
		Subtotal:	Gates			21	682	342200	128.75			
<u>Greece</u>												
Under Constructio	n GR00-60S	Edwin Wegman Fieldstone Estates North Greece Road 044.02-1-51.111	135.01	3605500000244	210	123			72			
Under Constructio	n GR02-35S	Lou Masi The Woods at Canal Path 2825, 2839 Ridgeway Avenue 088.04-3-10; 088.04-3-11	141.04	3605500000460	210	30			22			
Under Constructio	n GR02-41S	Richard Kartes Avery Park Subdivision 873 Flynn Road 033.04-2-62.1	135.03,135.04	3605500000244	210	132			52			
Under Constructio	n GR02-57Z	William Roberts Country Hill Estates 311 Frisbee Hill Road 033.01-3-54	135.03	3605500000244	210	7	7	12000	24			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Under Construction	GR02-65ZS	Jason Chapman Brescia Subdivision Manitou Road; Peck Road 058.01-02-041; 058.01-02-043	135.06	3605500000252	210	7	7	21000	8			
Under Construction	GR03-13S	Angelo D'Arpino Buttonwood Heights Subdivision Manitou Road; Hincher Road 025.03-3-34.211; 025.03-3-35.111	135.03	3605500000242	210	66			33.866			
Under Construction	GR04-46S	Glen Bierworth Chatham Estates 711 North Greece Road 044.03-2-37; 044.03-2-40.1	135.04	3605500000249	210	32			42.7			
Under Construction	GR05-81S	Charles Lissow Hawks Landing Frisbee Hill Road 033.01-2-1; 033.01-2-18	135.03	3605500000242	210	16			20.01			
Under Construction	GR08-65S	Forest Creek Equity Corp. Regency Park Subdivision Janes Road 045.02-01-0162	136.03		200	206	141		65			
Under Construction	GR08-7S	Anthony Cottrone Lantana Station Subdivision Kirk Road 045.02-1-6	136.03	3605500000246	210	50	49		16.8		•	
Under Construction	GR09-38ZS	Ancor, LLC Lantana Station - Section 2 Kirk Road 045.02-1-6	136.03	3605500000246	210	9			16.8		✓	
Under Construction	GR14-69ZS	Gavin Brownlie Smith Creek Estates Hillbridge Drive 044.04-2-37.012; 044.04-2-38.111; 044.04-2-38.112; 044.04-2-39.114; 044.04-2-39.115	135.08	3605500000249	210	18			21.3			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Approved	GR14-92Z	Apple Latta LLC Rezoning 2451-2455 Latta Road 045.19-2-3	136.04	3605500000557	400	1	430		51.7		•	
Under Construction	n GR15-20ZS	Apple Latta, LLC Orchard View Senior Housing Community 2451-2455 Latta Road 045.19-2-3	136.04	3605500000557	280		430		57.1		•	
Under Construction	n GR15-47ZS	Marc-Mar Homes, Inc. Woods at Canal Path Canal Woods 088.04-3-10; 088.04-3-11.1	141.04	3605500000460	210	7			11.17			
Under Construction	n GR16-12Z	Ronald J. Berardi Rezoning 839 North Greece Road 058.01-2-19.2; 058.01-2-20.2	135.06	3605500000252	220		28		6.94		✓	
Approved	GR18003	Tra-Mac Associates Bellasera Place 499 Mill Road, 499 Mill Road 058.03-03-015.11, 058.030-03-016	135.06	3605500000252		90			64.3			
Approved	GR19044	Frederick Metzger Long Pond Woods Subdivision 1150 Long Pond Road 074.10-4-36	140.03	3605500000454		11			8.7			
Approved	GR20003	Forest Creek Equity Corporation Talon Run Subdivision Post Avenue/East of north Greece Road 033.04-2-50.3	135.03	3605500000244		5			15.3			
Approved	GR20004	Willow Pointe, LLC Willow Pointe North on Place One Drive 058.02-3-22.11	135.06	3605500000450		19			15.35			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account	t Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Under Construction	GR20021	Nicholas Graziose 480 McCall Road 480 McCall Road 075.10-7-47, 075.10-7-39		139.01	3605500000262		8	16	0	3.63			
Under Construction	GR20036	Frank Imburgia, FSI Long Pond Townhomes 500 Long Pond Rd, 502-524 Long Pond Rd 045.01-5-2.2, 045.01-5-1		136.03	3605500000246		125	125	900	25			
Pending Approval	GR21005	Fallmarc Development LLC Stonewood Estates 10 North Greece Rd 058.01-1-1		135.08	3605500000249		13	0	0	21.7			
Pending Approval	GR21008	447 Long Pond Road LLC Hawthorn Grove Subdivision 447 Long Pond Rd 034.03-9-69		135.03	3605500000245		7	0	0	5.9			
Pending Approval	GR21061	Allied Property Developers Buttonwood Heights Manitou Rd 025.03-3-35.101		135.03	3605500000242		45	0	0	27.9			
Under Construction	GR96-37S	Tra-Mac Associates, Inc. Images West Subdivision 1001; 465 Greece Road North; Mill Road 058.03-03-034.210; 035; 017 073.01-02-001.2		135.02	3605500000254	210		203		108			
			Subtotal:	Greece			1027	1436	33900	817.166			
Hamlin Under Construction	HM01-14ZS	Robert Morgan Hidden Creek Mobile Home Park Brick School House Road; Drake Road 20.02-03-10.10		151	3605500000307	270				75			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Nu		Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Under Construction	HM01-15ZS	Thomas Mattle Hidden Pines Subdivision - Section 2 Hamlin Clarkson Town Line Road 029.010-1-5.10	1	151	3605500000307	210	7		17229	53			
Under Construction	HM06-6S	Pat Lawler Pat Lawler Resubdivision 2018 Roosevelt Highway 030.010-01-015.1	1	151.01	3605500000308	210	6	6		92.813			
Under Construction	HM08-3S	James Beehler Beehler Estates Senior Development Roosevelt Highway 021.03-03-008.1				210	134			54.23		•	
Approved	HM08-5ZS	Gerald Rowell Rowell Subdivision Hamlin Clarkson Town Line Road 029.010-0001-001.000				210	5			30.47			
Approved	HM13-20ZS	Robert Black Country Creek Estates - Section 3 Country Creek Lane 023.010-1-5.211	1	151.01	3605500000308	210	7			84.5			
Approved	HM13-23Z	Michael Laszewski Single Family Residential Homes and Pole Barns 60, 100 Ketchum Road 014.020-1-13.215; 014.020-1-13.217	1	151.01	3605500000308	210	3	2	10400	30.4			
Approved	НМ19002	Mark Eastman Eastman Subdivision 1410 Roosevelt Highway, 1460 Roosevelt Highway 030.020-01-004.5, 030.020-01-004.6		151.01	3605500000308		5	5		24.04			
		Su	btotal: H	amlin			167	13	27629	444.453			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
<u>Henrietta</u>												
Under Construction	HR16-11S	Mr. David DePaolo East Henrietta Road Patio Homes 3490 East Henrietta Road 176.18-1-1;176.17-1-8;176.17-1-9	132.03	3605500000427	210	77			34.39			
Under Construction	HR16-5Z	Robert Morgan and Todd Morgan Town Center South 2695 East Henrietta Road 176.090-0002-001	132.04	3605500000212	411	1	249	1510378	22.471			
Under Construction	HR16-6S	Jayne's Riverview LLC Foxfield Subdivision West End of Parrell Road Extention 187.02-2-1.11	132.05	3605500000421	210	107			109.4			
Under Construction	HR17-19ZS	Michael Hedding Southern View Estates, Section 2 Rush-Henrietta Townline Road 202.010-02-28.001; 202.010-02-28.002; 202.010-02-28.003; 202 02-28.004	132.04	3605500000215		8	8	16000	25.829			
Under Construction	HR17-6S	Bruce Howlett Howlett Farms Subdivision 188.02-1-45; 188.03-1-16.12; 188.03-1-16.2; 188.04-1-40			281	4	107		58.38			
Under Construction	HR19006	Mr. Christopher A. DiMarzo Lehigh Park, Phase II Rezoning Lehigh Station Road, Lehigh Station Road 175.12-1-3.1, 175.12-1-3.2	132.04	3605500000212		2		792292	19.3			
Under Construction	HR19022	Jeff Morrell DunnWood Green Apartments 2155 West Jefferson Road, Henrietta, NY 163.06-1-33, 163.10-1-2				1	183	814572	16			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Under Construction	HR20004	Ron Henkel Forest View Ward Hill Road, 271 Ward Hill Road 203.01-2-3.111, 203.01-2-4	132.04	3605500000429		47	46		108.5			
Under Construction	HR20008	Mr. Bernard Iacovangelo, Esq Queens Park Subdivision Phase 2B 188.03-1-52.003	132.06	3605500000428		34	34		18.71			
Approved	HR20018	Andrew Crossed Riverton Parcel "E" Scotts W Hen Rd 188.03-1-16.111	132.06	3605500000428		1	120	165900	25.4			
Approved	HR21004	Andrew Bodewes Riverton Parcel "E" Scotts W Hen Rd 188.03-1-16.111	132.06	3605500000428		1	110	0	26.63			
Approved	HR21005	Tom George Lehigh Mixed Use Development 84 Lehigh Station Rd 174.02-1-43	132.05	3605500000211		1	352	0	57.533			
Approved	HR21008	Ryan Brandt Marketplace Senior Apartments 1100 Miracle Mile Dr 161.12-1-1.1/F	131.04	3605500000333		1	150	155664	3.04			
Pending Approval	HR21015	Mr. Bruce Howlett Lehigh Ridge Middle Rd, Lehigh Station Rd, Lehigh Station Rd, East Henrietta East Henrietta Rd, East Henrietta Rd, East Henrietta Rd 175.04-1-20, 175.20-1-84, 175.20-1-85, 175.20-1-86, 176.17-1-25.176.17-1-23.12, 176.17-1-22.2		3605500000424		113	113	0	69.5			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account N	Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Under Construction	HR21016	Lukas Amalfi Roc River Apartments East River Rd 174.02-1-17		132.05	3605500000211		1	202	0	37.2			
Pending Approval	HR21019	Alex Vironin West Sunset Estates Subdivision West Henrietta Rd 202.01-2-2.11		132.04	3605500000215		5	0	0	12.5			
		.5	Subtotal:	Henrietta			404	1674	3454806	644.783			
<u>Hilton</u>													
Pending Approval	HL20003	Fr. Joe Catanise St. Leo Senior Apartments 167 Lake Ave, 171 Lake Ave 024.17-3-31.1, 024.17-3-36		148.04	3605500000524		1	40	1	4.03		•	
Pending Approval	HL20006	Amy Harter Providence Housing 169 Lake Ave, 171 Lake Ave 024.17-3-35, 024.17-3-36		148.04	3605500000524		1	40	40100	4.18		•	
			Subtotal:	Hilton			2	80	40101	8.21			
Honeoye Falls													
Under Construction	HF15-1Z	Pinebrook Apartments, LLC Pinebrook Apartments Pine Trail 228.15-1-35.11		124.01	3605500000273	411	1	156	68480	19.5			
Under Construction	HF20001	David Jacobs Wolfsberger Park N Main St 222.17-1-4		124.01	3605500000273		118	118	2000	71.7			
		.5	Subtotal:	Honeoye Falls			119	274	70480	91.2			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Irondequoit												
Under Construction	IR09-9Z	RSM Development Co., LLC Newport Marine Club 500 Newport Road 077.16-1-2.1	108	3605500000108	200	1	54	254680	5.9			
Under Construction	IR14-1ZS	Thomas DioGuardi Pardee Subdivision 455 Pardee Road 092.15-3-9.2	110	3605500000113	210	5			2.9			
Approved	IR16-4Z	Alan J. Knauf Light house Pointe 951, 1027;45 Thomas Avenue; Pattonwood Drive 047.18-2-12;047.18-2-3.1;047.18-2-12	102	3605500000098	411	3	125		5.5			
Under Construction	IR18001	Michael Nolan I-Square Town Center Development - 14 units residential cottages 775 Titus Avenue, 795 Titus Avenue, 50 Lorraine Drive, 51 Lorrain Drive, 60 Lorraine Drive, 61 Lorraine Drive, 71 Lorraine Drive, 81 Lorraine Drive, 93 Lorraine Drive 076.15-6-38, 076.15-6-39, 076.15-6-40, 076.15-6-41, 076.15-6-42, 076.15-6-49, 076.15-6-48, 076.15-6-56.1, 076.15-6-59		3605500000105			14					
Approved	IR18002	Lacroix Properties, LLC Lacroix Court Apartments 75 Carry Lane (aka: 14 Lacroix Court) 092.10-2-1	109.01	3605500000111		1	12		7.72			
Under Construction	IR18011	Angelo Ingrassia Skyview on the Ridge 200 Medley Center Parkway 092.05-1-86	106.01	3605500000106		1	96	77252	7.3	✓	•	
Under Construction	IR18020	Angelo Ingrassia/Amy Casciani Sears Development Project 200 Medley Center Parkway 092.05-1-86	106.01	3605500000106		1	73	80477	7.3	✓	•	

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Under Construction	IR18024	Andrew Kolupski 1465 N. Winton Road Apartments 1465 Winton Road North 107.08-4-38	111	3605500000116		1	9	8414	1.049	•		
Approved	IR19007	Angelo Jay Ingrassia 2763 & 2771 Culver Road 2763 & 2771 Culver Road 092.06-4-20, 092.06-4-21	106.01	3605500000106		2	9		0.33			
Under Construction	IR19008	Peggy Hill 2490 & 2662 Culver Road 2590 & 2662 Culver Road 092.10-3-2, 092.10-3-1	109.02	3605500000112		2	80	80000	6.743		•	
Approved	IR20003	Scott Donaldson Hudson Avenue Subdivision 1890 Hudson Ave, 1848 Hudson Ave 076.19-4-64, 076.19-4-61.1	106.02	3605500000355		5			1.45			
Approved	IR20011	Episcopal Senior Living Community Episcopal Senior Living Apartments at St. Cecilia Church 2732 Culver Rd 092.06-4-25	109.02	3605500000109		2	74	26133	6.1		•	
Approved	IR21001	Steven Labuzetta Summer Villas on Third 91 Lake Front, 91 Lake Front, St Paul Blvd 047.56-1-4, 047.56-1-56.1, 047.56-1-95	101	3605500000097		3	8	0	1.2			
Mendon		Subtotal:	Irondequoit			27	554	526956	53.492			
Under Construction	MN02-13ZS	Primo Difelice The Ridings of Mendon Bulls Saw Mill Road 215.04-1-1; -44	124	3605500000271	210	11	10	33216	37.49			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Under Construction	MN02-23ZS	Robert Schoenberger Holly Hill Farm - Phase I Cheese Factory Road 223.01-1-2	124	3605500000272	210	7	5	23945	17.7			
Under Construction	MN06-5ZS	Schoenberger Associates Holly Hill Subdivision - Phase II Cheese Factory Road 223.01-1-2	124	3605500000272	210	9	7	34290	29.35			
Under Construction	MN15-15ZS	Tom Neilans Panoramic Vista Subdivision, Section 2 Taylor Road 216.040-1-6.11; 216.040-1-6.3	124.02	3605500000272	210	5	4	17500	16			
Under Construction	MN18001	Mendon LLC Ridings of Mendon-Section 2 Old Stable Way 215.04-1-1.1	124.02	3605500000271		6	4	21265	33.27			
		Subtotal:	Mendon			38	30	130216	133.81			
<u>Ogden</u>												
Preliminary Approval	OG04-5S	Robert Fallone, Inc. West Whittier Extension Terry Lane 117.040-01-40.315	149.04	3605500000291	210	12	12		6.857			
Under Construction	OG06-8ZS	American Site Developers Rezoned to Self-Storage Overlay District & Under Construction; Renamed Union St. Sub 2417, 2427 Union Street 101.040-0002-002; 101.040-0002-003	149.03	3605500000288	210	10	10		21.212			
Under Construction	OG07-3ZS	Noble Peregrine Development, LLC Ogden Heights 2539 Spencerport Road 102.020-0002-003.1	149.04	3605500000463	200	131		510000	90		•	

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Under Construction	OG08-16S	John Gizzi Boulder Point Subdivision Stony Point Road; Hutchings Road 117.003-03-009.111; 117.003-03-009.013; 117.003-03-009.012			210	11			68.6			
Under Construction	OG10-3Z	Michael Domenico Parkview Center Union Street 087.01-1-24.1	149.04	3605500000464	400	2	80	210000	48.7			
Under Construction	OG15-9ZS	Christopher A. Dimarzo Green Wood Park Whittier Road 132.02-3-13.1	149.05	3605500000521	411	65	174		27.3			
Under Construction	OG16-4Z	Marc Fallone Ogden Heights - Phase II Gilette Road 102.2-2-3.11	149.06	3605500000463	210	16	16		59.3			
Approved	OG16-9Z	Brian Rumsey 465 Chambers Street 465 Chambers Street 101.03-2-4.11	149.03	3605500000288	210	1	1	6000	48.8			
Preliminary Approval	OG17-4ZS	Nicholas Randazzo Fawn Meadow Subdivision - Section 2 157 Ogden-Parma Townline Road 087.02-2-4.1	149.06	3605500000464	210	3	3	12000	7.7			
Approved	OG18008	Dan Thomas 2715 Manitou Road 2715 Manitou Road 117.02-2-24.12	149.05	3605500000291		1	24	13023	4.5			
Approved	OG19004	Joseph D'Angelo D'Angelo Subdivision Washington Street 100.040-03-002.2	149.03	3605500000288		5	5		10.6			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Accoun	nt Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Pending Approval	OG21008	JOHN P. GIZZI Granite Ridge Subdivision 129 South Union Street Whittier Rd 117.03-1-61.1		149.05	3605500000465		34	34	0	51.723			
			Subtotal:	Ogden			291	359	751023	445.292			
<u>Parma</u>													
Under Construction	n PM	West Hill Estates Blue Mountain Drive					17	17	27200	11			
Under Construction	n PM15-6ZS	Douglas Hill Hill Property Subdivision 5734 Ridge Road West 055.04-2-7		148.02	3605500000469	210	11	10	20000	139.65			
Approved	PM17-7Z	Joseph Sciortino Rezoning 945 Hilton Parma Corners Road 032.03-1-5		148.04	3605500000523	280				68		✓	
Under Construction	n PM19001	Marco Mattioli All Seasons Subdivision-Section 7 Fallwood Terrace 023.02-1-16.114		148.03	3605500000293		15	5	22000	34.73			
Under Construction	n PM19003	Family Development, Inc. Pine Hill Estates 184 Pine Hill Road 071.03-1-5.105		148.02	3605500000469		23			16.507			
Under Construction	n PM20008	CALLEA ENTERPRISES, LLC WILDER ESTATES SECTION 8 468 Wilder Rd 025.03-1-29.002		148.03	3605500000294		15	15	2000	9.249			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Approved	PM21018	CARLO CALLES WILDER ESTATES, SECTION 9 468 Wilder Rd 025.03-1-29.001	148.03	3605500000294		18	17	2500	7.699			
		Subtotal:	Parma			99	64	73700	286.835			
Penfield												
Under Construction	PN15-11ZS	Cosmo and Dan Viola Silverwood Subdivision Phase 6 1227B Five Mile Line Road 094.01-3-23.99	115.01	3605500000134	210	23	23		10.64			
Under Construction	PN16-2ZS	Midlakes Management, LLC	115.03	3605500000136	220	34			22			
		Bayview Landing 1185, 1211 Empire Blvd. 108.05-2-08.33; 108.05-2-08.5; 108.10-1-01.111										
Under Construction	PN17-3Z	Maddox Development LLC	115.01	3605500000135	280		24		6.8			
		Barclay Park Townhomes 1 River Birch Ln 095.01-5-25										
Under Construction	PN18005	Plank Road Development	115.04	3605500000139		1	12		20.25			
		Crowne Pointe Subdivision, Section 3B 899 Plank Road, 1377 Shoecraft Road 094.18-1-6.211, 094.19-1-1.11										
Under Construction	PN19006	Plank Road Development, LLC Crowne Pointe Subdivision Sec 4 899 Plank Road 094.18-1-6.001	115.04	3605500000139		7	7		11.112			
Under Construction	PN19022	Michael D'Amico Forest Ridge Estates 1394 Jackson Road, 1440 Jackson Road 095.03-01-39, 110.01-1-4	115.04	3605500000140		72			90.5			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Under Construction	PN19027	Arnold DiPietro Bramble Subdivision Apollonia Lane at Atlantic Avenue 126.01-1-17.998	115.05	3605500000152		5	5		49.987			
Under Construction	PN20002	Michael D'Amico Forest Ridge Estates 1394 Jackson Road, 1440 Jackson Road 095.03-1-39, 110.01-1-4	115.04	3605500000140		72			90.5			
Under Construction	PN20005	Passero Associates Bay View Landing Apartment Building 1211 Empire Blvd, 40 Woodhaven Dr, 1185 Empire Blvd 108.05-2-8.33, 108.10-1-1.111, 108.05-2-8.5	115.03	3605500000136		2	60	85200	4.01			
Approved	PN20014	Daniel Sykes 3090 Atlantic Ave Subdivision 3090 Atlantic Ave 109.04-1-17.1	115.04	3605500000368		5	5	0	5			
Approved	PN21001	Daniel Scorza Scorza Subdivision 1700 Baird Rd 109.04-1-34.1	115.04	3605500000146		6	1	3200	3.3			
Under Construction	PN21014	Eric & Susan Stroyer Stroyer Subdivision 1030 Plank Rd 094.04-1-32.11	115.01	3605500000135		5	0	0	15.416			
Approved	PN21027	Dustin McLoud Highland Estates 2735 Penfield Rd, 2745 Penfield Rd 141.01-1-18.21, 141.01-1-18.22	115.05	3605500000152		17	16	0	48.08			
-		Subtotal:	Penfield			249	153	88400	377.595			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Perinton												
Under Construction	PR06-12S	John Colaruotolo Emerald Hill Point/Anco Route 250 Property Emerald Hill Circle 180.03-01-46; 180.03-01-56	117.08	3605500000171	210	9			19.75			
Under Construction	PR14-18S	Piero Forgensi Janders Run Subdivision Pebble Hill Road 166.06-3-59.1	117.07	3605500000164	210	18	18	2400	10			
Under Construction	PR18014	Aristo Properties, Inc. Whitney Road East Whitney Road East 153.02-1-6	117.03	3605500000159		9			5.4			
Approved	PR18015	Thomas Marullo 2770 Baird Road 2770 Baird Road 152.11-2-37.11	119.01	3605500000157		1	140	120000	10.06		•	
Under Construction	PR19005	Jerold Watkins Kreag Road Property 412 Kreag Road 179.07-1-56	117.05	3605500000330		6	6		2.805			
Approved	PR19008	Thomas Marullo 2770 Baird Road-Perinton Churches Housing 2770 Baird Road 152.11-2-37.11	119.01	3605500000157		1	140	120000	10.06		•	
Under Construction	PR19013	Jim Barbato Crippen Property 4541 Nine Mile Point Road, 4561 Nine Mile Point Road 140.17-1-1, 153.05-1-1.1	119.01	3605500000374		1	120	94850	14.9			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Approved	PR19016	Louis Sirianni Thayer Road Subdivision 719 Thayer Road 180.04-1-71.11				4	3	12300	21.35			
Under Construction	PR20011	Jim Barbato Parker Place 4541 Nine Mile Point Rd, 4561 Nine Mile Point Rd 140.17-1-1, 153.05-1-1.1	119.01	3605500000374		1	120	94850	14.9			
Approved	PR21005	Stacey Haralambides Dwell on Jefferson 638 Jefferson Ave, 640 Jefferson Ave 165.11-2-15.1, 165.11-2-15.2	119.02	3605500000161		1	11	12276	1.6			
Pending Approval	PR21011	Whitney Housing LLC The Legends at Whitney Town Center - Phase II 100 Clear Spring Trl, 696 Whitney Rd W, Whitney Road West 152.07-1-20, 152.07-1-22, 152.08-1-7	119.01	3605500000374		1	42	50000	1.45		•	
Pending Approval	PR21033	Brian Moyer Austin Road Subdivision 48 Austin Rd 165.20-3-34	117.06	3605500000380		5	5	0	6.85			
		Subtotal:	Perinton			57	605	506676	119.125			
Pittsford Under Construction	PT06-57S	Lou Masi Country Pointe Subdivision - Section 2 West Bloomfield Road 192.01-01-24.21; 192.01-01-24.23	123.03	3605500000184	210	24			66.95			
Under Construction	PT08-63ZS	Robert Clifford Family Trust Kilbourn Place Apartment 3500-3524 East Avenue 138.14-01-11; 138.14-01-12; 138.14-01-3			200	41	41		7.44			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Under Construction	PT14-1S	Clover Street Development Corp.	123.06	3605500000184	210	40			58.9			
		Coventry Ridge Section 2 Clover Street										
		177.04-1-15.1										
Under Construction	PT18001	Ted Spall	123.06	3605500000429, 3605500000537		7	7		90			
		Section 1 of the Young Matthews subdivision 3571 Clover Street, Clover Street, Clover Street, Clover Street, C	lover									
		Street, Clover Street										
		191.01-1-13, 191.01-1-14.1, 191.01-1-14.21, 191.01-1-14.22, 191 1-18, 191.01-1-19	.01-									
Approved	PT18011	Glen Cooper	123.06	3605500000179			106	194000	5.75	✓	•	
		Friendly Commons at Cloverwood										
		Clover Street and West Jefferson Road, Clover Street and West Jefferson Road, Clover Street and West Jefferson Road										
		163.02-1-24.11, 163.02-1-23.1, 163.02-1-35.13										
Under Construction	PT18012	Scott Morrell	123.05	3605500000184		50	50		20			
		Alpine Ridge Subdivision										
		651 Mendon Road 192.01-1-6, 192.01-1-5, 178.03-2-36, 178.03-2-38										
Under Construction	PT19008	Ted Spall	123.06	3605500000429, 3605500000537		23			19.18			
		Bridleridge Farms Section 2										
		Clover Street, north of Tobin Road, south of Reeves Road 191.01-1-18, 191.01-1-19, 191.01-1-14.1										
Under Construction	PT20005	Kilbourn Place Associates, LP	122.01	3605500000175		2	110	81500	10.15	✓		
		Kilbourn Place Apartments - Phase 1 and 2										
		3500 East Ave, 3536 East Ave 138.14-1-13.1, 138.14-1-13.2										
		Subtotal:	Pittsford			187	314	275500	278.37			
Pittsford (V)												
Pending Approval	PV13-2Z	Pittsford Canalside Properties LLC	123.01	3605500000386		1	167	193542	7.39			
		Westport Crossing										
		75 Monroe Avenue										
		151.18-1-51.1										

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Accoun	nt Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
			Subtotal:	Pittsford (V)			1	167	193542	7.39			
Rochester													
Approved	RO17-10ZS	Ralph DiTucci		38.05,129	3605500000192, 3605500000082	200	10	522	752000	27.6			
		Rochester Psychiatric Center 1201 Elmwood Avenue											
		136.56-1-1;136.64-1-1;136.14-1-1.2;136.14-1-	1.3										
Approved	RO17-11Z	Margaret Hill/Rochester Management		78.02	3605500000079	411	1	98	50950	9.61			
		Cobbs Hill Village 645 Norris Drive											
		122.62-1-1											
Approved	RO19010	Angelo Ingrassia						104		22.42			
		The Vista at Highland 1100 South Goodman Street											
		136.33-1-1.002											
Approved	RO20001	Peter Morse		2	3605500000509		2	16	13455	0.16			
-		350 State Street - Apartment Development											
		350-358 State Street, 360-362 State Street 106.69-1-40, 106.69-1-39											
Approved	RO20007	Don Lasher		93.02	3605500000511		1	5	9500	0.13			
••		Howell Street Apartments											
		125 Howell Street 121.41-2-31											
								•		. ==			
Pending Approval	RO21013	Gillian Conde 536 Central Av		93.01	3605500000013		1	30	41435	0.73			
		536 Central Ave											
		106.64-2-70											
			Subtotal:	Rochester			15	775	867340	60.65			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Accoun	t Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Rush													
Approved	RU03-31ZS	Grebuer Farms Perry Hill Estates Subdivision Perry Hill Road; East River Road 212.03-1-1.3		133	3605500000275	210	14			52.664			
Approved	RU04-15ZS	Yilmaz Yoruk Rushfield Manor Rush Henrietta Town Line Road 202.01-1-2.3		133	3605500000276	210	5			19.9			
Under Construction	RU08-12Z	Charles Salvaggio Honey Hill - Nowack Subdivision - Section 4 8300 West Henrietta Road 219.04-1-6.111				210	7			29.6			
Under Construction	RU15-14ZS	Aydin Yoruk Rushfield Manor Subdivision Rush Henrietta Town Line Road 202.010-1-2.13		133	3605500000276	210	5	5	12000	19.9			
Pending Approval	RU19002	Stephen and Elizabeth Leone Perry Hill Estates Subdivision East River Road 212.03-1-1.3		133	3605500000275		7	6	19200	52.66			
			Subtotal:	Rush			38	11	31200	174.724			
Spencerport													
Pending Approval	SP14-3ZS	Village of Spencerport Village Pines Section 3 Subdivision/Rezoning Route 531; Timber Ridge; Hawthorne Drive 101.02-1-1.1		149.01	3605500000467	210	80	80		34.4			
Approved	SP19003	Union Spencerport, LLC 148 South Union Street 148 S. Union Street 087.09-11-12		149.01	3605500000466			12		0.178			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
		Subtotal:	Spencerport			80	92		34.578			
<u>Sweden</u>												
Approved	SW02-21ZS	Eileen Swartout Swartout Subdivision-02 West Sweden Road; Capen Road 098.030-01-018			210	8	8	21000	73			
Under Construction	SW03-9ZS	Northrup Contracting, Inc. Northview Subdivision - Section 1 Fourth Section Road 083.010-01-027	154	3605500000298	210	20	20	42000	8.24			
Approved	SW05-2ZS	South Winds Subdivision South Wind Subdivision -05 5886 Lake Road 114.010-01-045.112	154	3605500000302	210	17	17	31000	139.12			
Under Construction	SW07-4S	Phil Nothnagle LLC Highlands Senior Development (The Villas at Brandon Woods) Section 1 Nathaniel Poole Trail & Wood Trace 084.010-01-014.114	154	3605500000473	200	13			20.67			
Under Construction	SW15-6ZS	Top Capital of New York LLC Senior's Choice at Heritage Square 100 Isla Way 068.030-1-18.11	154	3605500000503	411	1	90	108963	7.554		•	
Under Construction	SW17-18ZS	Jackie and Rick Kartes Townhomes at Stonebriar Glen 6787 Fourth Section Road 083.02-1-7.1	154	3605500000473		1	155	262000	24			
Under Construction	SW19008	Steve Licciardello The Villas at Brandon Woods, Section 2 Talamora Trail 084.01-1-14.114	154	3605500000473		2	99	138000	20.7			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Pending Approval	SW20008	Sean McLean Heritage Square Phase 1A Site Plan Persistance Path 068.03-1-18.113	154	3605500000503		1	80	103205	5.92			
Under Construction	SW96-1S	Gary Dutton Merrill Estates Subdivision Beadle Road 098.04-1-6	154	3605500000298	210	11		10178	81			
Under Construction	SW98-12ZS	Sodoma Farms, Inc. Campbell Road Subdivision Campbell Road 085.01-2-11.111	154	3605500000301	210	11		7414	22			
		Subtotal:	Sweden			85	469	723760	402.204			
<u>Webster</u>												
Under Construction	WT	Larry Panipinto Eastwood Estates Subdivision - Section IV County Line Road 081.010-01-029.110	114	3605500000132	210	15			9			
Under Construction	WT	Redstone Builders Lake Breeze Subdivision - Section 4 Lake Road 050.01-1-55.12; 050.01-1-57.1	113.01	3605500000120	210	18			30.3			
Under Construction	WT09-13ZS	Hegedorn Associates Coastal Village Subdivision/Creek Edge Subdivision Section I, 2, 3 Lake Road 036.03-1-8.001	113.01 , &	3605500000120	210	30	30		13.2			
Under Construction	WT11-10ZS	Jim Leonardo 1078 Glen Edith Subdivision 1078 Glen Edith Drive 078.180-1-2; 078.180-1-47; 078.180-1-54; 078.180-1-55; 078.180-56	112.01 1-	3605500000127	210	6			20			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account	t Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Under Construction	WT17-14Z	Webster West Golf Course Westwood Estates 440 Salt Road 050.04-1-72.11		113.01	3605500000515		106			85			
Under Construction	WT17-9Z	Town of Webster Tall Birch Glen Subdivision 300 Webster Road 050.01-1-30				210	26			15.9			
Under Construction	WT18003	Tom Thomas Bella Terra Subdivision Southwest corner of Schlegel and Salt Roads 65.02-1-40.22		114	3605500000126		267			156.55			
Under Construction	WT20005	Barry Barone The Homestead Herman Road & Pellet Road 26548906401000010052000000		113.02	3605500000119		5			15.06			
Approved	WT21003	Forest Creek Equity Corp. Salt Road Re-zoning 230 Salt Rd, Salt Rd 050.02-1-38.2, 050.02-1-23.1		113.01	3605500000121		79	79	0	69			
Approved	WT21005	Coastal View Homeowner's Association Coastal View HOA Lands Resubdivision Coastal View Dr 036.03-1-65		113.01	3605500000515		28	0	0	4.38			
Approved	WT21007	Forest Creek Equity Corp. Aberdeen Estates 1740 Salt Rd, 230 Salt Rd 050.02-1-23.1, 050.02-1-38.2		113.01	3605500000121		79	79	0	69			
			Subtotal:	Webster			659	188	0	487.39			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Webster (V)												
Under Construction	WV20001	Owner: John Schantz; Applicant: Pride Mark Homes Schantz Property Subdivision Webster Rd 095.06-1-2	114	3605500000366		124	124	0	44.1			
		Subtotal:	Webster (V)			124	124	0	44.1			
Wheatland												
Under Construction	WH05-4ZS	Harold Fisher Fisher-Belcoda Subdivision Belcoda Road 198.01-1-18	147	3605500000279	210	5		15000	51.1			
Approved	WH06-5S	Evan Bringley Union North Subdivision Union Street; North Road 199.01-1-5.21	147	3605500000280	210	6		18000	27.336			
Under Construction	WH06-9S	Bruce Volkman Volkman Subdivision 2100 North Road 198.02-001-002	147	3605500000279	210	12		36000	166.954			
Approved	WH10-1S	Verhulst Brothers Inc. VerHulst Brothers Subdivision 1077 Beulah Road 183.04-2-1	147	3605500000279	210	5			201			
Approved	WH19004	Clearview Farms, LLC Clearview Farms, Phase 2 North Northeast corner of T-intersection of Robert Quigley Drive & B Road 187.18-1-1	147 rowns	3605500000280		1	224	157422	33.88			
Approved	WH19008	Clearview Farms, LLC Clearview Farms, Phase 2 North (amended and Phase 1 subdivis	147 ion)	3605500000280		1	224	157422	33.88			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Accoun	t Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Approved	WH20001	Good Living Properties, LLC Hewitt Subdivision 1226 North Road 186.04-1-19		147	3605500000418		6	5		52			
			Subtotal:	Wheatland			36	453	383844	566.15			
			Total:				4903	10634	10783493	7443.964			
Retail Comme	<u>ercial</u>												
Brighton													
Under Construction	BH14-46Z	Mandanth Enterprises Palazzo Plaza 2750 Monroe Avenue 150.070-2-8.110		126	3605500000195	400	1		43225	4.49			
Under Construction	BH17-7Z	Antonelli Development College Town Self-Storage 1266 Brighton Henrietta TL Rd. 148.19-1-7; 148.19-1-8; 148.19-1-9; 148.19-1-	10	130.01	3605500000404	449	1		72725	8.5			
			Subtotal:	Brighton			2		115950	12.99			
<u>Chili</u>													
Approved	CI09-2ZS	Titan Rock, LLC Retail/Office Building 4354, 4345 Buffalo Road 131.16-4-19; 131.16-4-20		145.05	3605500000518	400			23714	1.701			
			Subtotal:	Chili					23714	1.701			
Churchville Pending Approval	CV17-4Z	Michael Morris Morris Washington Street 15 Washington Street 143.11-1-1		150	3605500000283		1		5000	1.5			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
		Subtotal:	Churchville			1		5000	1.5			
Greece												
Approved	GR03-45Z	4110 West Ridge, LLC Rezoning 4046-4178 West Ridge Road 073.01-2-31; 073.01-2-60	135.06	3605500000252	400			167000	21.59			
Under Construction	GR03-52Z	The DiMarco Group Greece Retail Center North Greece Road; Manitou Road 073.01-02-031; 073.01-02-064.12	135.06	3605500000252	400	1		167000	22			
Approved	GR04-9Z	Jeff & Serena Barry Rezoning 1400 Edgemere Drive 035.09-1-20; 035.09-1-19; 035.09-1-76; 035.09-1-77; 035.09-1-21 035.09-1-22	134.02	3605500000243	418	1	38	27500	0.9			
Under Construction	GR08-72Z	Benderson Dev. Co., LLC Multi-Tenant Retail/Restaurant Building 3188-3196 Latta Road 045.03-1-9; 045.03-1-3; 045.03-1-4; 045.03-1-5; 045.03-1-10	135.04		400			54322	9.5			
On Hold	GR13-42Z	Crescent Beach Restaurant and Hotel, LLC Crescent Beach Restaurant 1372 Edgemere Drive 035.09-1-21; 035.09-1-20; 035.09-1-22; 035.09-1-23; 035.09-1-76	134.02	3605500000243	421	1		8250				
Approved	GR16-29ZS	Benderson Devt. Co., LLC Southwest Commons - Rezoning 4057-4231 West Ridge Road 073.03-1-28;073.01-3-31;	141.04	3605500000264	400	1	4	190000	27.1			
Approved	GR17-71Z	New Mark Development Village Crossing 3455; 3471 Mount Read Boulevard 075.05-2-9; 075.05-2-8	140.04	3605500000455				47380	3.58			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Accoun	nt Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
			Subtotal:	Greece			4	42	661452	84.67			
<u>Hamlin</u>													
Approved	HM16-6Z	Mark Crane & David M. Brennan Brennan Storage 406;412 Hamlin Clarkson T.L. Rd. 029.06-2-1.1		151.01	3605500000547	440			14206				
			Subtotal:	Hamlin					14206				
Perinton													
On Hold	PR13-17Z	Le Thi Be Walters Be Walters Retail - Route 96 721, 725, 735, 741, 747, 751; 6 Pittsford-Victo 179.100-1-39, 179.100-1-40; 179.100-1-41; 17 43; 179.100-1-44; 179.100-1-45			3605500000168	400			12016	3.784			
			Subtotal:	Perinton					12016	3.784			
Pittsford (V)													
Pending Approval	PV13-1Z	Christopher DiMarzo Westport Crossing 75 Monroe Avenue 151.170-3-3		123.01	3605500000386	280	1	167	193542	7.5			
			Subtotal:	Pittsford (V)			1	167	193542	7.5			
Wheatland													
Pending Approval	WH16-2ZS	Ming Feng Chen Wheatland-Scottsville Commons 3892 Scottsville Road 187.03-1-72.113		147	3605500000280	400	1	7	82000	19.2			
			Subtotal:	Wheatland			1	7	82000	19.2			
			Total:				9	216	1107880	131.345			
			Total:				5160	14055	10761.958	28963398			

Monroe County Land Use Monitoring Report 2021

TABLE 3 - CUMULATIVE STATUS OF REZOINGS, 2003-2021

TABLE 3. Cumulative Status of Rezonings - Potential Development: 2003-2021

Project Status	Referral No.	Applicant/ Project Name/Address/Tax A	ccount Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Rochester													
Under Construction	RO19018	Ray Wetherbee		7	3605500000027		22			3			
		Joseph and Clifford Zoning Map Amendme 615 Clifford Ave, 621 Clifford Ave, 625 C Street, 2 Theodore Street, 3 Theodore Stree Theodore Street, 35 Maria Street, 31 Maria Maria Street, 23 Maria Street, 36 Maria Str	lifford Ave, 1 Theodore et, 4 Theodore Street, 6 Street, 29 Maria Street										
		106.31-3-15, 106.31-3-16, 106.31-3-17, 10 106.31-3-20, 106.31-3-21, 106.31-3-23.001 4-36.002, 106.32-4-37.002, 106.32-4-40.00 106.32-4-2, 106.32-4-34, 106.32-4-32.001,	1, 106.32-4-1.001, 106.3 01, 106.32-4-41.001,										
			Subtotal:	Rochester			22			3			
			Total:				22			3			
Commercial Chili Pending Approval		John P. Gizzi 4423 Buffalo Road Concept Plan 4423 Buffalo Road 131.20-1-58		145.05	3605500000217				17160	2.2			
			Subtotal:	Chili					17160	2.2			
Greece													
Approved		Andrew Gallina South Pointe Landing Rezoning 11 South Pointe Landing 089.03-5-4.122		141.04	3605500000460		1		60000	3.46			
			Subtotal:	Greece			1		60000	3.46			
			Subtotat:	Greece			1		00000	5.10			

Community Services

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Accoun	t Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
<u>Brighton</u>													
Approved	BH04-54Z	The University of Rochester U of R IPD Rezoning Request I-390 to Crittenden Road				613				189			
			Subtotal:	Brighton						189			
			Total:	Community S	ervices					189			
<u>Industrial</u>													
<u>Ogden</u>													
Pending Approval	OG21010	Tim Weber 0 - Gillett Road, Town of Ogden 0 Gillett Rd 117.02-1-6.111		149.05	3605500000291		1	1	385000	87			
			Subtotal:	Ogden			1	1	385000	87			
			Total:	Industrial			1	1	385000	87			
Mixed Use													
Clarkson													
Approved	CK14-6ZS	Al Spaziano Rezoning - Brookfield at Clarkson Subdivision East Avenue 69.02-1-1.21		152	3605500000304	400	1	391	242100	32	•	✓	
Approved	CK15-8Z	Al Spaziano, Atlantic Funding & Real Estate LLC Brook Field at Clarkson/Rezoning		152	3605500000304	400	3	270	330000	31.1			
		069.02-1-1.23; 069.02-1-1.22; 069.02-1-21											
			Subtotal:	Clarkson			4	661	572100	63.1			
-			Total:	Mixed Use			4	661	572100	63.1			

Project Status	Referral No.	. Applicant/ Project Name/Address/Tax Accor	unt Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Greece												
Approved	GR14-82Z	DVL1 LLC Rezoning 3069; 3081 Latta Road 045.03-4-3; 045.03-4-4		136.04	3605500000250	400		75000	11.4			
Approved	GR15-73Z	999 Long Pond LLC Rezoning 995, 999; 19 Long Pond Road; Mill Road 059.03-4-16.1; 059.03-4-17; 059.03-4-18		135.06	3605500000450	465	1	65000	7.28			
			Subtotal:	Greece			1	140000	18.68			
Ogden Approved	OG14-2Z	Edgar M. Storm, Jr. Rezoning 2425 Union Street 101.04-2-2.2		149.03	3605500000288	440	1		10.417			
			Subtotal:	Ogden			1		10.417			
			Total:	Non Retail C	Commerc		2	140000	29.097			
<u>Other</u>												
Clarkson Under Construction	CK19010	Borrego Solar Systems Inc. Borrego Solar - 2668 Redman Road 2668 Redman Road 028.03-1-21, 028.04-1-18					2		84.971			
			Subtotal:	Clarkson			2		84.971			
Greece												
Approved	GR07-27Z	John L. DiMarco, II Rezoning 4320 West Ridge Road 073.01-2-63; 073.01-2-64.111; 073.01-2-64.12; 073.01-2-68; 073.01-1-2.1; 073.01-1-2.3; 073.0 073.01-1-2.6; 073.01-1-2.7		135.06 2.5;	3605500000252				67.1			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Accoun	nt Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Approved	GR08-2Z	Town of Greece Town Board Rezoning Long Pond Road to Manitou Road		141.04	3605500000460					513			
Approved	GR14-77Z	Town of Greece Rezoning 3216-3242 Latta Road 045.03-1-12; 045.03-1-13; 045.03-1-14; 045.03-1	1-15	135.07	3605500000445	400	2		79000	17.44			
			Subtotal:	Greece			2		79000	597.54			
Ogden													
Pending Approval	OG21005	Valentino Visca Parkview Townhomes Union Street & Big Ridge Union St 087.01-1-24.111	Road Rezoning	149.06	3605500000464		0	84	0	24.8			
			Subtotal:	Ogden			0	84	0	24.8			
			Total:	Other			4	84	79000	707.311			
Public Servi	ces												
Clarkson													
Approved	CK21005	Clarkson Renewables 2, LLC Clarkson Renewables 2, LLC. 0 West Avenue 067.02-1-1		152	3605500000303		1	0	0	63.65			
			Subtotal:	Clarkson			1	0	0	63.65			
Sweden													
Under Construction	SW19005	Mike Lossia Helios Energy New York Sweden Solar Farm West side of Lake Road at intersection of Swamp 098.04-1-2.1	p Road	154	3605500000298		1			53			
			Subtotal:	Sweden			1			53			
			Total:	Public Service	es		2	0	0	116.65			

Project Status	Referral No.	. Applicant/ Project Name/Address/Tax Account Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Residential												
<u>Chili</u>												
On Hold	CI17-27Z	Ignazio Battisti	145.01	3605500000430		7	52		53.41			
		Rezoning 223; 225; 227; 229; 219 Golden Road & 29-31 Stone Barn Road 132.16-2-76; 132.16-2-77; 132.16-2-78; 132.16-1-30.1; 132.16- 37.2; 132.20-1-1; 132.20-1-3.11										
		Subtotal:	Chili			7	52		53.41			
<u>Churchville</u>												
Pending Approval	CV17-2Z	Al Spaziano Black Creek Commons 32 East Buffalo Street 143.10-1-37	150	3605500000283		1	38	24546	4.05			
		Subtotal:	Churchville			1	38	24546	4.05			
Clarkson												
Approved	CK20005	Jack Finnigan Zerniack Subdivision 8684 Ridge Rd, 8660 Ridge Rd, 8648 Ridge Rd, Ridge Rd, Ridge Rd, Ridge Rd, Ridge Rd, 853.02-1-30, 053.02-1-32, 053.02-1-32, 053.02-1-34, 053.02-1-34		3605500000303		4	0	0	36.437			
		Subtotal:	Clarkson			4	0	0	36.437			
Gates												
Approved	GT19025	Robert Cain Churchview Commons 1049 Wegman Road 119.09-1-47	142.04	3605500000233		1	45	54500	7.8			
Approved	GT21010	898 Buffalo Road Associates, LLP	143.02,144	3605500000238, 3605500000235, 3605500000442, 3605500000240, 3605500000443		1	158	66000	10			
		Doud Apartment Homes Chili Ave, 898 Buffalo Rd 119.20-3-1./GC, 119.08-1-36										

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account	t Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Approved	GT21032	Steve Licciardello		142.03	3605500000226		4	12	0	0			
		Rezone 1010 Spencerport Rd, 1020 Spencerport Rd, 1032 1036 Spencerport Rd 103.12-2-79, 103.12-2-78, 103.12-2-77, 103.12-2-		,									
			Subtotal:	Gates			6	215	120500	17.8			
Greece													
Approved	GR14-92Z	Apple Latta LLC Rezoning 2451-2455 Latta Road 045.19-2-3		136.04	3605500000557	400	1	430		51.7		✓	
Under Construction		Ronald J. Berardi Rezoning 839 North Greece Road 058.01-2-19.2; 058.01-2-20.2		135.06	3605500000252	220		28		6.94		✓	
			Subtotal:	Greece			1	458		58.64			
<u>Henrietta</u>													
Under Construction		Mr. Christopher A. DiMarzo Lehigh Park, Phase II Rezoning Lehigh Station Road, Lehigh Station Road 175.12-1-3.1, 175.12-1-3.2		132.04	3605500000212		2		792292	19.3			
			Subtotal:	Henrietta			2		792292	19.3			
<u>Hilton</u>													
Pending Approval		Fr. Joe Catanise St. Leo Senior Apartments 167 Lake Ave, 171 Lake Ave 024.17-3-31.1, 024.17-3-36		148.04	3605500000524		1	40	1	4.03		✓	
			Subtotal:	Hilton			1	40	1	4.03			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Accoun	nt Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
<u>Irondequoit</u>													
Approved	IR21001	Steven Labuzetta Summer Villas on Third 91 Lake Front, 91 Lake Front, St Paul Blvd 047.56-1-4, 047.56-1-56.1, 047.56-1-95		101	3605500000097		3	8	0	1.2			
-			Subtotal:	Irondequoit			3	8	0	1.2			
<u>Parma</u>													
Approved	PM17-7Z	Joseph Sciortino Rezoning 945 Hilton Parma Corners Road 032.03-1-5		148.04	3605500000523	280				68		✓	
			Subtotal:	Parma						68			
Perinton													
Under Construction	PR19013	Jim Barbato Crippen Property 4541 Nine Mile Point Road, 4561 Nine Mile Point 140.17-1-1, 153.05-1-1.1	nt Road	119.01	3605500000374		1	120	94850	14.9			
			Subtotal:	Perinton			1	120	94850	14.9			
Rochester													
Approved	RO17-10ZS	Ralph DiTucci Rochester Psychiatric Center		38.05,129	3605500000192, 3605500000082	200	10	522	752000	27.6			
		1201 Elmwood Avenue	,										
Approved	RO19010	136.56-1-1;136.64-1-1;136.14-1-1.2;136.14-1-1.3 Angelo Ingrassia The Vista at Highland 1100 South Goodman Street 136.33-1-1.002	5					104		22.42			
Pending Approval	RO21013	Gillian Conde 536 Central Av 536 Central Ave 106.64-2-70		93.01	3605500000013		1	30	41435	0.73			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Accou	nt Number	Census Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
			Subtotal:	Rochester			11	656	793435	50.75			
Spencerport													
Pending Approval	SP14-3ZS	Village of Spencerport Village Pines Section 3 Subdivision/Rezoning Route 531; Timber Ridge; Hawthorne Drive 101.02-1-1.1		149.01	3605500000467	210	80	80		34.4			
			Subtotal:	Spencerport			80	80		34.4			
Webster													
Under Construction	WT17-9Z	Town of Webster Tall Birch Glen Subdivision 300 Webster Road 050.01-1-30				210	26			15.9			
Under Construction	WT18003	Tom Thomas		114	3605500000126		267			156.55			
		Bella Terra Subdivision Southwest corner of Schlegel and Salt Roads 65.02-1-40.22											
Approved	WT21003	Forest Creek Equity Corp. Salt Road Re-zoning 230 Salt Rd, Salt Rd 050.02-1-38.2, 050.02-1-23.1		113.01	3605500000121		79	79	0	69			
			Subtotal:	Webster			372	79	0	241.45			
			Total:	Residential			489	1746	1825624	604.367			
Retail Comm	<u>iercial</u>												
<u>Greece</u>													
Approved	GR03-45Z	4110 West Ridge, LLC Rezoning 4046-4178 West Ridge Road 073.01-2-31; 073.01-2-60		135.06	3605500000252	400			167000	21.59			

Project Status	Referral No.	Applicant/ Project Name/Address/Tax Account Numbe	Census er Tract No.	TAZ No.	Land Use Code	No. Lots	No. Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs
Approved	GR04-9Z	Jeff & Serena Barry	134.02	3605500000243	418	1	38	27500	0.9			
		Rezoning 1400 Edgemere Drive 035.09-1-20; 035.09-1-19; 035.09-1-76; 035.09-1-77; 035 035.09-1-22	.09-1-21;									
Approved	GR16-29ZS	Benderson Devt. Co., LLC	141.04	3605500000264	400	1	4	190000	27.1			
		Southwest Commons - Rezoning 4057-4231 West Ridge Road 073.03-1-28;073.01-3-31;										
		Subtota	l: Greece			2	42	384500	49.59			
		Total:	Retail Comn	nercial		2	42	384500	49.59			
		Total:				527	2534	1854.775	3463384			

TABLE 4 - POTENTIAL DEVELOPMENT: 2022 - 2024

TABLE 4. Potential Development: 2022-2024

Project Name/Address/Tax Account Number	Census Tract	TAZ Number Cl	Property assification	Number of Lots	Number of Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs	Mixed Use
Rochester											
Premier Metal Scrap	87.02	3605500000069		1		12250	6.94				
11 Cairn St											
120.45-1-5											
Rochester Storage	93.01	3605500000013		3		13600	0.97				
242,246 Ormond St, 3 Leopold											
106.64-1-22.002											
		(Roch	ester) Total	4		25850	7.91				
			TOTAL	4		25850	7.91				
<u>Apartment</u>											
Rochester											
Los Flamboyanes 720,676,744 N Clinton Av 106.39-4-63	13	3605500000027		4	46	0	1.84	•			
		Apartment (Roch	ester) Total	4	46	0	1.84				
		TOTAL APA	RTMENT	4	46	0	1.84				
<u>Apartments</u>											
Perinton											
Burgundy Basin	117.05	3605500000166		1	149		10.5				
1361 Marsh Rd.											
179.05-4-10.12											
Woodcliff Mixed Use	117.08	3605500000381		1	250		9.42				✓
390 Woodcliff Dr.											
193.02-3-10.112											
-		Apartments (Per	inton) Total	2	399	<u> </u>	19.92				

Project Name/Address/Tax Account Number	Census Tract	TAZ Number	Property Classification	Number of Lots	Number of Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs	Mixed Use
		TOTAL .	APARTMENTS	2	399		19.92				
Commercial											
East Rochester											
Wendy's 871 Fairport Road 1381-1.12	121	3605500000172		1	1						
		Commercial (Ea	st Rochester) Total	1	1						
<u>Ogden</u>											
Quiklees 2845 Nichols 102.01-1-2.1	149.06	3605500000463		1	1	5400	1				✓
Self-storage 2340 Union Street 102.01-1-5.112	149.06	3605500000463		1	1		3.54	✓			✓
		Comme	rcial (Ogden) Total	2	2	5400	4.54				
Penfield											
Meli Dance Studio 1385 Empire Boulevard 108.10-1-2.11	115.03	3605500000136		1	1	4050	1				
		Commerc	ial (Penfield) Total	1	1	4050	1				
Sweden											
Heritage Square Phase 1 Persistence Path 068.03-1-18.113	154	3605500000503		1	80		5.92				
		Commerc	ial (Sweden) Total	1	80		5.92				
		TOTAL (COMMERCIAL	5	84	9450	11.46				

Project Name/Address/Tax Account Number	Census Tract	TAZ Number	Property Classification	Number of Lots	Number of Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs	Mixed Use
Rochester											
Taco Bell 1737 Mt.Hope Ave 20Elmerston 136.77-1-12.001	38.05	3605500000084		3			0.73				
		Commercial/Retail (Rochester) Total	3			0.73				
		TOTAL COMMERC	CIAL/RETAIL	3			0.73				
Commerical											
Hilton											
Hilton Self-storage 100 Old Hojack Lan 024.17-3-45-1	148.04	3605500000524		1	2	9600	2				
		Commerie	cal (Hilton) Total	1	2	9600	2				
		TOTAL CO	OMMERICAL	1	2	9600	2				
Community Services											
Honeove Falls											
HF Fire Station 20 N Main St 228.12-1-11.1	124.01	3605500000273		1	1	24000	1				
	C	Community Services (Hon	eoye Falls) Total	1	1	24000	1				
Rochester											
Wellness Clinic 365 North St 106.64-3-28.001	93.01	3605500000013		1		4793	0.54				
		Community Services (Rochester) Total	1		4793	0.54				
	,	TOTAL COMMUNIT	Y SERVICES	2	1	28793	1.54				

Generall Industrial

Project Name/Address/Tax Account Number	Census Tract	TAZ Number	Property Classification	Number of Lots	Number of Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs	Mixed Use
Riga											
Meyer RV Super Store 329-333 Sandford Rd North 155.02-1-1.1 &-11	150	3605500000284		2		63129					
		Generail Indus	trial (Riga) Total	2		63129					
		TOTAL GENERAIL	INDUSTRIAL	2		63129					
Incentive Mixed Use											
Sweden											
Villas BW Sect 2 Talamara Trail 084.01-1-14.114	154	3605500000473		2	99		20.67				
		Incentive Mixed Use	e (Sweden) Total	2	99		20.67				
		TOTAL INCENTIVE	MIXED USE	2	99		20.67				
Industrial											
Chili											
30 King rd 30 King Rd 145.10-1-1	145.01	3605500000431		1	10	108000	20.77				
JD Seafood 100 International Blvd 147.01-1-8.4	146.02	3605500000436		2	1	5422	9.68				
Victory Express 350 International Blvd 147.010-1-8.61	146.02	3605500000436		1	1	23000	6.7				
		Indus	trial (Chili) Total	4	12	136422	37.15				

Project Name/Address/Tax Account Number	Census Tract		operty sification	Number of Lots	Number of Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs	Mixed Use
East Rochester											
Kronenberger 115 Despatch Drive 139.69-2-34	121	3605500000382		1	1						
		Industrial (East Roches	ter) Total	1	1						
Webster											
NEAT Tebor Road 066.03-1-28.113	113.01	3605500000507		1	1	1000000	70				
		Industrial (Webs	ter) Total	1	1	1000000	70				
		TOTAL INDUS	STRIAL	6	14	1136422	107.15				
<u>Light Industrial</u>											
Penfield											
Panorama Park Parker Hill Drive	116.34	3605500000147		8	6						
-		Light Industrial (Penfi	eld) Total	8	6						
Scottsville											
Coopervision Addition 711 North Rd 187.17-1-18.1	147	3605500000280		1	1	5500	5.52				
		Light Industrial (Scottsv	lle) Total	1	1	5500	5.52				
		TOTAL LIGHT INDUS	STRIAL	9	7	5500	5.52				
Limited Commercial											
East Rochester											
Burger King 875 Fairport Road 152.46-1-2	121	3605500000172		1	1						

Project Name/Address/Tax Account Number	Census Tract	TAZ Number	Property Classification	Number of Lots	Number of Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs	Mixed Use
	1	Limited Commercial (Eas	Rochester) Total	1	1						
		TOTAL LIMITED C	OMMERCIAL	1	1						
Mixed Use											
Brighton											
Winfield Park Brighton Henrietta Townline Road 149.15-1-38 &39&46	130.01	3605500000201		3		38000	82			✓	✓
		Mixed Us	e (Brighton) Total	3		38000	82				
<u>Penfield</u>											
Arbors Phases 2-5 1657 Frpt. Nine Mile Pt 110.03-1-25.1	115.04	3605500000140		1			100				✓
Curatolo prop. 1810 Rte. 250 125.01-1-25.2	115.05	3605500000373		1			19.87				
		Mixed Us	e (Penfield) Total	2			119.87				
Rochester											
Alta Vista 101-113 Franklin St,106 Pleasant 106.80-1-25.001	94	3605500000004		3		44201	1.25				
		Mixed Use	(Rochester) Total	3		44201	1.25				
		TOTA	L MIXED USE	8		82201	203.12				
Mixed Use (retail, office apartments)											
<u>Perinton</u>											
Crosskeys Mixed Use 6894 Pittsford-Palmyra Rd. 166.17-2-21./TX1	117.05	3605500000379		1	125		16.25				✓
	Mixed Use	e (retail, office apartment) (Perinton) Total	1	125		16.25				

Project Name/Address/Tax Account Number	Census Tract	TAZ Number	Property Classification	Number of Lots	Number of Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs	Mixed Use
	TOTAL MIXED USE (I	RETAIL, OFFICE A	APARTMENTS)	1	125		16.25				
Mixed Use (Town Homes, retial, light Industrial)											
Greece											
North Hampton 089.03-5-4.6 & 4.113	141.04	3605500000460		2			43				
	l Use (Town Hor	mes, retial, light Industr	rial) (Greece) Total	2			43				
	ED USE (TOWN HOME	S, RETIAL, LIGHT	'INDUSTRIAL)	2			43				
One-family residential											
Perinton											
Weston Place Macedon Center Rd. 153.20-1-15.1	117.03	3605500000159		6	6		5				
		One-family resident	ial (Perinton) Total	6	6		5				
	ТОТ	AL ONE-FAMILY	RESIDENTIAL	6	6		5				
Other storage											
Rochester											
Life Storage 14 Railroad St 106.75-1-12.001	56	3605500000553		2			1.43				
		Other storag	e (Rochester) Total	2			1.43				
		TOTAL OTI	HER STORAGE	2			1.43				

Residential

Project Name/Address/Tax Account Number	Census Tract	TAZ Number	Property Classification	Number of Lots	Number of Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs	Mixed Use
Chili											
Brickwood Phase 2 3395 Union St 144.08-1-7.122	145.05	3605500000217		1	36		5.89				
		Resident	ial (Chili) Total	1	36		5.89				
Greece											
Fieldstone North 033.04-2-56.2 & 64.1 & 044.02-1-2	135.08	3605500000244		0	200		0				
		Residential	(Greece) Total	0	200		0				
<u>Henrietta</u>											
@ Reverton Eire Station Rd & Scottsville 187.02-2-4.111 & 197.09-2-3.11	132.06	3605500000428		130	130		53.76				
		Residential (Henrietta) Total	130	130		53.76				
<u>Mendon</u>											
Mendon Green Pittsford Mendon Rd 192.04-1-1.2 & 1.3	124.02	3605500000272		30	30	6000	87				
		Residential	(Mendon) Total	30	30	6000	87				
<u>Parma</u>											
Davison Beach 14 Huffer Rd 009.09-2-18.2	148.03	3605500000292		17	17	37400	9.84	✓			
		Residentia	ıl (Parma) Total	17	17	37400	9.84				
Perinton											
Furman/Fellows PDD 200 & 250 Fellows 140.04-1-4, 140.04-1-39, 140.04-1-44.1	117.03	3605500000155		200	250		95				

Project Name/2	Address/Tax Account Number	Census Tract	TAZ Number Property Classification	Number of Lots	Number of Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs	Mixed Use
			Residential (Perinton) Total	200	250		95				
Rochester											
Multi-Fam Dwe 115 & 141 Port 106.49-2-22.00	tland Ave	15	3605500000028	2	40	40511	0.93				
			Residential (Rochester) Total	2	40	40511	0.93				
<u>Webster</u>											
Aberdeen Estat 230 Salt Road 050.02-1-38.2	es	113.01	3605500000121	79	79		69	✓			
Meadows Two Schlegel Road 065.02-1-40.00		114	3605500000126	55	55		40	✓			
Senior Living Ridge Road 080.02-1-47		114	3605500000132	112	224		40	•			
Sienna Reserve Orchard Road 080.05-2-2.1		113.02	3605500000362	10	10		5.94	•			
			Residential (Webster) Total	256	368		154.94				
			TOTAL RESIDENTIAL	636	1071	83911	407.36				
Resiential											
<u>Penfield</u>											
Gasbury prop 1345 Shoecraft 094.03-1-45		115.01	3605500000134				14.2	•			
Smith propertie 1234, 1250 & 1 110.01-1-80, 09		115.04	3605500000140				76	•			
1234, 1250 & 1	258 Northrup	115.04	3605500000140				76	✓	L		

Project Name/Address/Tax Account Number	Census Tract	TAZ Number	Property Classification	Number of Lots	Number of Units	Gross Floor Area	Acreage Total	Residential Conversion	Senior Housing	Special Needs	Mixed Use
Vendel 1271 Fairport Nine Mile 095.03-1-10	115.01	3605500000135		20		0	17	•			
		Resiential	(Penfield) Total	20		0	107.2				
		TOTAL I	RESIENTIAL	20		0	107.2				
Storage Rochester											
Surburban Disposal 200 Ferrano Street 105.53-1-1.002	87.01	3605500000346		1			9				
		Storage (R	Rochester) Total	1			9				
Two-family residential		TOTA	L STORAGE	1			9				
Perinton											
2414 Baird Rd. 2414 Baird Rd. 139.19-1-1.2	119.01	3605500000374		18	18		5.7				
		Two-family residential	(Perinton) Total	18	18		5.7				
	TOT	AL TWO-FAMILY RE	ESIDENTIAL	18	18		5.7				
		ALL DEVELOPME	NT TOTAL:	735	1873	1444856	976.8				

TABLE 5 - RESIDENTIAL BUILDING PERMITS ISSUED, 2021

2021 Residential Building Permit Issued

Municipality	Single Family	Two (2) Family	Three (3) or Four (4) Family	Five (5) or More Family	Mobile or Manufactured
Brighton	1	0	0	0	0
Brockport	4	0	0	0	0
Chili	47	0	0	18	0
Churchville (V)	0	3	0	0	0
Clarkson	5	0	0	0	0
East Rochester	0	0	0	0	0
Fairport	2	0	0	0	0
Gates	9	0	0	0	0
Greece	110	0	0	0	0
Hamlin	6	0	0	0	9
Henrietta	113	0	1	13	0
Hilton	0	0	0	0	0
Honeoye Falls	0	0	0	0	0
Irondequoit	6	0	0	0	0
Mendon	15	0	0	0	0
Ogden	17	9	0	0	0
Parma	26	0	0	0	0
Penfield	43	2	0	0	15
Perinton	21	0	0	0	0
Pittsford	49	0	0	2	0
Pittsford (V)	0	0	0	0	0
Riga	4	0	0	0	0
Rochester	21	11	0	0	0
Rush	10	0	0	0	0
Scottsville (V)	0	2	0	0	0
Spencerport (V)	1	0	0	0	0
Sweden	3	1	0	4	0
Webster	74	0	0	9	0
Webster (V)	0	0	3	0	0
Wheatland	2	0	0	0	12
Total 2021	589	28	4	46	36

TABLE 6 - COUNTYWIDE LAND USE CLASSIFICATION SUMMARY

Countywide Land Use Classification Summary

Property Code	Catergory Description	Property Count	Count %	Property Acreage	Acreage %
100	Agricultural	1,657	0.62%	84,118.37	21.57%
200	Residential	230,582	86.02%	158,024.11	40.53%
300	Vacant land	16,772	6.26%	63,594.32	16.31%
400	Commerical	12,694	4.74%	21,229.54	5.44%
500	Recreation and entertain	681	0.25%	11,113.07	2.85%
600	Community services	2,097	0.78%	19,309.50	4.95%
700	Industrial	901	0.34%	7,161.71	1.84%
800	Public services	2,304	0.86%	7,533.28	1.93%
900	Wild, forested, conservat	370	0.14%	17,826.57	4.57%
Total		268,058	100.00%	389,910.47	100.00%

Source: Monroe County RPS Roll Year 2021 (Extracted in January 2022)

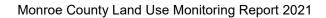


TABLE 7 - LAND USE CLASSIFICATION SUMMARY BY MUNICIPALITY

Catergory Description	Property Count	Count %	Property Acreage	Acreage %
Residential	9,980	83.37%	3,449.70	41.67%
Vacant land	1,129	9.43%	1,642.40	19.84%
Commerical	551	4.60%	1,141.45	13.79%
Recreation and entertainment	34	0.28%	351.80	4.25%
Community services	94	0.79%	1,080.29	13.05%
Industrial	15	0.13%	48.78	0.59%
Public services	155	1.29%	203.00	2.45%
Wild, forested, conservation lands and public parks	13	0.11%	362.09	4.37%
Total	11,971	100.00%	8,279.51	100.00%
Residential	1,387	77.70%	416.17	32.19%
Vacant land	97	5.43%	187.45	14.50%
Commerical	213	11.93%	188.67	14.59%
Recreation and entertainment	8	0.45%	13.37	1.03%
Community services	37	2.07%	276.57	21.39%
industrial	5	0.28%	103.12	7.98%
Public services	38	2.13%	107.50	8.31%
Total	1,785	100.00%	1,292.85	100.00%
Agricultural	166	1.51%	6,702.41	28.57%
Residential	9,627	87.59%	7,013.36	29.90%
Vacant land	584	5.31%	3,462.66	14.76%
Commerical	228	2.07%	1,328.36	5.66%
Recreation and entertainment	11	0.10%	435.99	1.86%
Community services	105	0.96%	1,260.07	5.37%
Industrial	39	0.35%	357.91	1.53%
Public services	186	1.69%	824.84	3.52%
Wild, forested, conservation lands and public parks	45	0.41%		8.83%
Total	10,991	100.00%	23,455.60	100.00%
Wil	d, forested, conservation lands and public parks	d, forested, conservation lands and public parks 45	d, forested, conservation lands and public parks 45 0.41%	d, forested, conservation lands and public parks 45 0.41% 2,070.00

Municipality	Property Code	Catergory Description	Property Count	Count %	Property Acreage	Acreage %
Churchville	200	Residential	816	83.86%	262.95	39.17%
Churchville	300	Vacant land	67	6.89%	201.71	30.04%
Churchville	400	Commerical	40	4.11%	70.02	10.43%
Churchville	600	Community services	17	1.75%	71.17	10.60%
Churchville	700	Industrial	3	0.31%	19.68	2.93%
Churchville	800	Public services	25	2.57%	8.52	1.27%
Churchville	900	Wild, forested, conservation lands and public parks	5	0.51%	37.33	5.56%
		Total	973	100.00%	671.38	100.00%
Clarkson	100	Agricultural	75	2.92%	4,806.90	23.29%
Clarkson	200	Residential	1,990	77.46%	7,138.76	34.58%
Clarkson	300	Vacant land	322	12.53%	7,138.19	34.58%
Clarkson	400	Commerical	83	3.23%	339.58	1.65%
Clarkson	500	Recreation and entertainment	9	0.35%	427.81	2.07%
Clarkson	600	Community services	26	1.01%	135.21	0.66%
Clarkson	700	Industrial	2	0.08%	10.08	0.05%
Clarkson	800	Public services	51	1.99%	68.99	0.33%
Clarkson	900	Wild, forested, conservation lands and public parks	11	0.43%	576.85	2.79%
		Total	2,569	100.00%	20,642.37	100.00%
East Rochester	200	Residential	2,291	85.64%	304.67	44.04%
East Rochester	300	Vacant land	110	4.11%	23.07	3.33%
East Rochester	400	Commerical	193	7.21%	153.90	22.25%
East Rochester	500	Recreation and entertainment	7	0.26%	39.69	5.74%
East Rochester	600	Community services	24	0.90%	74.41	10.76%
East Rochester	700	Industrial	23	0.86%	71.82	10.38%
East Rochester	800	Public services	25	0.93%	22.42	3.24%
East Rochester	900	Wild, forested, conservation lands and public parks	2	0.07%	1.86	0.27%
		Total	2,675	100.00%	691.84	100.00%

Municipality	Property Code	Catergory Description	Property Count	Count %	Property Acreage	Acreage %
Fairport	200	Residential	1,976	89.09%	581.82	64.68%
Fairport	300	Vacant land	53	2.39%	60.28	6.70%
Fairport	400	Commerical	118	5.32%	59.78	6.65%
Fairport	600	Community services	22	0.99%	87.20	9.69%
Fairport	700	Industrial	10	0.45%	52.46	5.83%
Fairport	800	Public services	34	1.53%	41.90	4.66%
Fairport	900	Wild, forested, conservation lands and public parks	5	0.23%	16.12	1.79%
		Total	2,218	100.00%	899.56	100.00%
Gates	100	Agricultural	1	0.01%	11.43	0.14%
Gates	200	Residential	10,102	89.68%	3,325.86	41.53%
Gates	300	Vacant land	405	3.60%	1,561.22	19.49%
Gates	400	Commerical	450	4.00%	1,181.12	14.75%
Gates	500	Recreation and entertainment	17	0.15%	483.54	6.04%
Gates	600	Community services	65	0.58%	542.26	6.77%
Gates	700	Industrial	131	1.16%	722.61	9.02%
Gates	800	Public services	93	0.83%	180.41	2.25%
		Total	11,264	100.00%	8,008.45	100.00%
Greece	100	Agricultural	53	0.15%	1,256.41	4.68%
Greece	200	Residential	31,916	92.76%	12,239.89	45.57%
Greece	300	Vacant land	1,241	3.61%	4,777.12	17.79%
Greece	400	Commerical	800	2.33%	2,026.41	7.54%
Greece	500	Recreation and entertainment	46	0.13%	631.17	2.35%
Greece	600	Community services	179	0.52%	1,706.58	6.35%
Greece	700	Industrial	41	0.12%	795.98	2.96%
Greece	800	Public services	109	0.32%	539.16	2.01%
Greece	900	Wild, forested, conservation lands and public parks	21	0.06%	2,885.03	10.74%
		Total	34,406	100.00%	26,857.75	100.00%

Municipality	Property Code	Catergory Description	Property Count	Count %	Property Acreage	Acreage %
Hamlin	100	Agricultural	208	5.83%	12,174.68	45.63%
Hamlin	200	Residential	2,783	78.00%	9,404.74	35.25%
Hamlin	300	Vacant land	416	11.66%	3,365.54	12.61%
Hamlin	400	Commerical	67	1.88%	519.68	1.95%
Hamlin	500	Recreation and entertainment	13	0.36%	207.43	0.78%
Hamlin	600	Community services	24	0.67%	161.70	0.61%
Hamlin	700	Industrial	4	0.11%	82.10	0.31%
Hamlin	800	Public services	49	1.37%	23.06	0.09%
Hamlin	900	Wild, forested, conservation lands and public parks	4	0.11%	744.82	2.79%
		Total	3,568	100.00%	26,683.75	100.00%
Henrietta	100	Agricultural	50	0.34%	2,372.77	11.44%
Henrietta	200	Residential	12,507	85.95%	6,514.60	31.42%
Henrietta	300	Vacant land	898	6.17%	3,894.98	18.79%
Henrietta	400	Commerical	660	4.54%	3,009.02	14.51%
Henrietta	500	Recreation and entertainment	70	0.48%	885.59	4.27%
Henrietta	600	Community services	148	1.02%	2,824.01	13.62%
Henrietta	700	Industrial	72	0.49%	562.65	2.71%
Henrietta	800	Public services	142	0.98%	580.76	2.80%
Henrietta	900	Wild, forested, conservation lands and public parks	4	0.03%	89.92	0.43%
		Total	14,551	100.00%	20,734.30	100.00%
Hilton	100	Agricultural	1	0.05%	22.92	2.31%
Hilton	200	Residential	1,792	91.15%	492.64	49.68%
Hilton	300	Vacant land	35	1.78%	75.41	7.60%
Hilton	400	Commerical	90	4.58%	103.60	10.45%
Hilton	500	Recreation and entertainment	2	0.10%	3.18	0.32%
Hilton	600	Community services	22	1.12%	226.02	22.79%
Hilton	700	Industrial	1	0.05%	6.50	0.66%
Hilton	800	Public services	20	1.02%	7.51	0.76%
Hilton	900	Wild, forested, conservation lands and public parks	3	0.15%	53.94	5.44%
		Total	1,966	100.00%	991.72	100.00%

Municipality	Property Code	Catergory Description	Property Count	Count %	Property Acreage	Acreage %
Honeoye Falls	100	Agricultural	3	0.29%	256.61	16.38%
Honeoye Falls	200	Residential	811	78.59%	657.27	41.95%
Honeoye Falls	300	Vacant land	77	7.46%	284.39	18.15%
Honeoye Falls	400	Commerical	95	9.21%	142.35	9.09%
Honeoye Falls	500	Recreation and entertainment	1	0.10%	2.80	0.18%
Honeoye Falls	600	Community services	17	1.65%	83.27	5.31%
Honeoye Falls	700	Industrial	10	0.97%	99.29	6.34%
Honeoye Falls	800	Public services	16	1.55%	20.84	1.33%
Honeoye Falls	900	Wild, forested, conservation lands and public parks	2	0.19%	19.99	1.28%
		Total	1,032	100.00%	1,566.81	100.00%
Irondequoit	100	Agricultural	6	0.03%	12.14	0.15%
Irondequoit	200	Residential	19,230	90.55%	5,238.96	65.20%
Irondequoit	300	Vacant land	1,303	6.14%	917.40	11.42%
Irondequoit	400	Commerical	456	2.15%	704.65	8.77%
Irondequoit	500	Recreation and entertainment	39	0.18%	146.78	1.83%
Irondequoit	600	Community services	96	0.45%	496.37	6.18%
Irondequoit	700	Industrial	4	0.02%	2.46	0.03%
Irondequoit	800	Public services	90	0.42%	59.52	0.74%
Irondequoit	900	Wild, forested, conservation lands and public parks	14	0.07%	457.05	5.69%
		Total	21,238	100.00%	8,035.33	100.00%
Mendon	100	Agricultural	104	3.60%	4,990.02	21.76%
Mendon	200	Residential	2,302	79.71%	11,474.50	50.03%
Mendon	300	Vacant land	333	11.53%	3,521.55	15.35%
Mendon	400	Commerical	57	1.97%	79.04	0.34%
Mendon	500	Recreation and entertainment	6	0.21%	324.87	1.42%
Mendon	600	Community services	15	0.52%	103.41	0.45%
Mendon	800	Public services	48	1.66%	28.68	0.13%
Mendon	900	Wild, forested, conservation lands and public parks	23	0.80%	2,413.07	10.52%
		Total	2,888	100.00%	22,935.14	100.00%

Municipality	Property Code	Catergory Description	Property Count	Count %	Property Acreage	Acreage %
Ogden	100	Agricultural	138	2.17%	5,972.45	28.18%
Ogden	200	Residential	5,405	84.85%	8,670.96	40.91%
Ogden	300	Vacant land	569	8.93%	3,921.54	18.50%
Ogden	400	Commerical	75	1.18%	499.38	2.36%
Ogden	500	Recreation and entertainment	9	0.14%	275.43	1.30%
Ogden	600	Community services	44	0.69%	479.55	2.26%
Ogden	700	Industrial	34	0.53%	488.31	2.30%
Ogden	800	Public services	76	1.19%	244.52	1.15%
Ogden	900	Wild, forested, conservation lands and public parks	20	0.31%	642.35	3.03%
		Total	6,370	100.00%	21,194.49	100.00%
Parma	100	Agricultural	113	2.40%	5,699.42	22.81%
Parma	200	Residential	3,830	81.23%	12,217.56	48.90%
Parma	300	Vacant land	547	11.60%	4,885.46	19.55%
Parma	400	Commerical	128	2.71%	850.21	3.40%
Parma	500	Recreation and entertainment	12	0.25%	754.30	3.02%
Parma	600	Community services	25	0.53%	265.31	1.06%
Parma	700	Industrial	8	0.17%	154.88	0.62%
Parma	800	Public services	52	1.10%	160.12	0.64%
		Total	4,715	100.00%	24,987.26	100.00%
Penfield	100	Agricultural	88	0.61%	3,474.51	15.47%
Penfield	200	Residential	13,091	91.11%	11,501.19	51.21%
Penfield	300	Vacant land	538	3.74%	2,795.22	12.45%
Penfield	400	Commerical	364	2.53%	1,182.95	5.27%
Penfield	500	Recreation and entertainment	25	0.17%	888.53	3.96%
Penfield	600	Community services	116	0.81%	967.05	4.31%
Penfield	700	Industrial	9	0.06%	189.25	0.84%
Penfield	800	Public services	111	0.77%	344.31	1.53%
Penfield	900	Wild, forested, conservation lands and public parks	26	0.18%	1,116.48	4.97%
		Total	14,368	100.00%	22,459.49	100.00%

Municipality	Property Code	Catergory Description	Property Count	Count %	Property Acreage	Acreage %
Perinton	100	Agricultural	46	0.29%	1,826.82	9.58%
Perinton	200	Residential	14,776	92.51%	9,624.85	50.47%
Perinton	300	Vacant land	482	3.02%	2,544.27	13.34%
Perinton	400	Commerical	319	2.00%	999.37	5.24%
Perinton	500	Recreation and entertainment	26	0.16%	905.21	4.75%
Perinton	600	Community services	70	0.44%	1,057.57	5.55%
Perinton	700	Industrial	32	0.20%	176.84	0.93%
Perinton	800	Public services	179	1.12%	739.21	3.88%
Perinton	900	Wild, forested, conservation lands and public parks	43	0.27%	1,194.69	6.27%
		Total	15,973	100.00%	19,068.83	100.00%
Pittsford	100	Agricultural	52	0.52%	1,931.44	15.36%
Pittsford	200	Residential	9,181	90.95%	5,826.16	46.32%
Pittsford	300	Vacant land	515	5.10%	1,823.95	14.50%
Pittsford	400	Commerical	125	1.24%	391.19	3.11%
Pittsford	500	Recreation and entertainment	13	0.13%	790.84	6.29%
Pittsford	600	Community services	54	0.53%	935.38	7.44%
Pittsford	700	Industrial	17	0.17%	109.95	0.87%
Pittsford	800	Public services	117	1.16%	206.89	1.64%
Pittsford	900	Wild, forested, conservation lands and public parks	21	0.21%	561.70	4.47%
		Total	10,095	100.00%	12,577.50	100.00%
Pittsford (V)	100	Agricultural	1	0.14%	45.60	12.28%
Pittsford (V)	200	Residential	547	75.87%	198.70	53.51%
Pittsford (V)	300	Vacant land	31	4.30%	29.56	7.96%
Pittsford (V)	400	Commerical	100	13.87%	42.37	11.41%
Pittsford (V)	500	Recreation and entertainment	2	0.28%	1.85	0.50%
Pittsford (V)	600	Community services	14	1.94%	48.30	13.01%
Pittsford (V)	800	Public services	26	3.61%	4.97	1.34%
_		Total	721	100.00%	371.35	100.00%

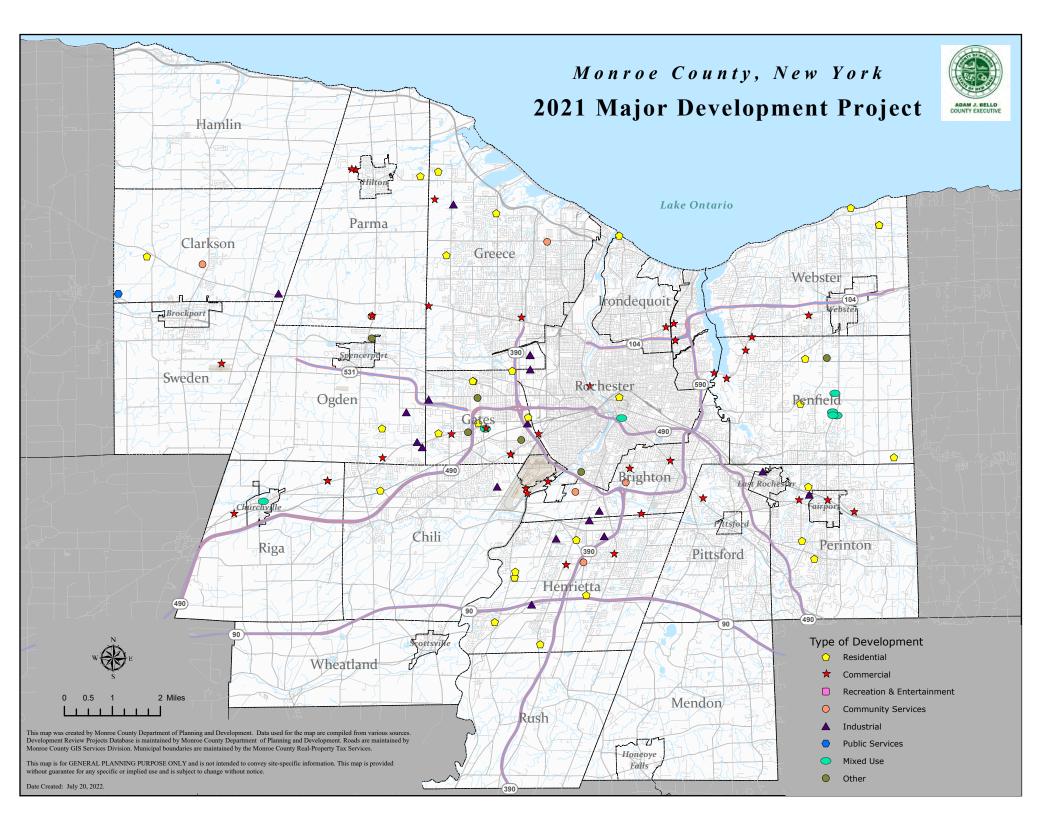
Municipality	Property Code	Catergory Description	Property Count	Count %	Property Acreage	Acreage %
Riga	100	Agricultural	156	9.05%	9,269.75	44.71%
Riga	200	Residential	1,210	70.23%	6,558.68	31.63%
Riga	300	Vacant land	243	14.10%	2,841.52	13.70%
Riga	400	Commerical	23	1.33%	102.62	0.49%
Riga	500	Recreation and entertainment	7	0.41%	257.13	1.24%
Riga	600	Community services	10	0.58%	173.70	0.84%
Riga	700	Industrial	2	0.12%	84.57	0.41%
Riga	800	Public services	68	3.95%	607.84	2.93%
Riga	900	Wild, forested, conservation lands and public parks	4	0.23%	838.39	4.04%
		Total	1,723	100.00%	20,734.20	100.00%
Rochester	200	Residential	51,897	79.88%	6,897.52	36.12%
Rochester	300	Vacant land	4,838	7.45%	1,299.46	6.81%
Rochester	400	Commerical	6,735	10.37%	3,681.78	19.28%
Rochester	500	Recreation and entertainment	133	0.20%	890.57	4.66%
Rochester	600	Community services	631	0.97%	2,184.06	11.44%
Rochester	700	Industrial	364	0.56%	1,532.90	8.03%
Rochester	800	Public services	302	0.46%	1,281.49	6.71%
Rochester	900	Wild, forested, conservation lands and public parks	68	0.10%	1,326.46	6.95%
		Total	64,968	100.00%	19,094.24	100.00%
Rush	100	Agricultural	117	6.24%	7,617.15	39.99%
Rush	200	Residential	1,383	73.76%	6,132.13	32.19%
Rush	300	Vacant land	225	12.00%	2,016.53	10.59%
Rush	400	Commerical	33	1.76%	79.66	0.42%
Rush	500	Recreation and entertainment	8	0.43%	693.19	3.64%
Rush	600	Community services	35	1.87%	1,994.51	10.47%
Rush	700	Industrial	20	1.07%	19.66	0.10%
Rush	800	Public services	49	2.61%	224.42	1.18%
Rush	900	Wild, forested, conservation lands and public parks	5	0.27%	270.10	1.42%
		Total	1,875	100.00%	19,047.35	100.00%

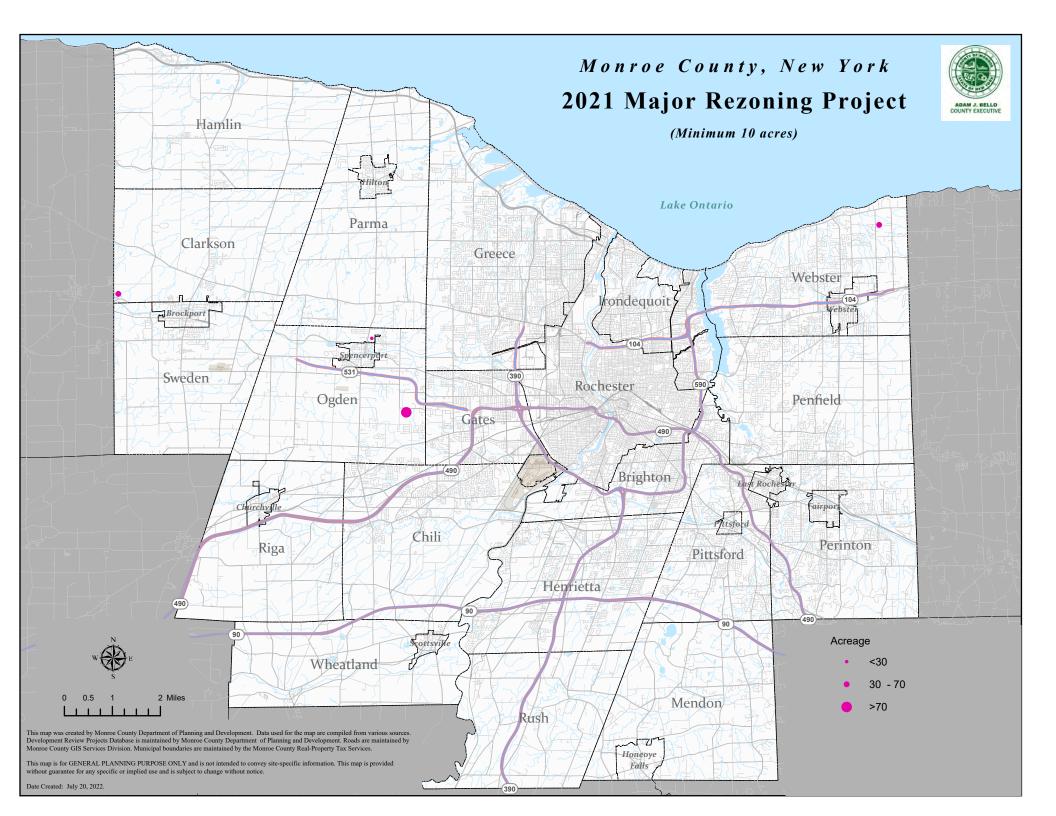
	Code	Catergory Description	Property Count	Count %	Property Acreage	Acreage %
Scottsville	100	Agricultural	1	0.12%	0.89	0.16%
Scottsville	200	Residential	702	85.09%	327.58	59.77%
Scottsville	300	Vacant land	37	4.48%	35.79	6.53%
Scottsville	400	Commerical	36	4.36%	27.47	5.01%
Scottsville	500	Recreation and entertainment	3	0.36%	19.07	3.48%
Scottsville	600	Community services	24	2.91%	110.31	20.13%
Scottsville	700	Industrial	4	0.48%	13.98	2.55%
Scottsville	800	Public services	18	2.18%	13.01	2.37%
		Total	825	100.00%	548.10	100.00%
Spencerport	200	Residential	1,193	86.64%	401.15	55.78%
Spencerport	300	Vacant land	49	3.56%	81.14	11.28%
Spencerport	400	Commerical	85	6.17%	62.79	8.73%
Spencerport	500	Recreation and entertainment	3	0.22%	3.44	0.48%
Spencerport	600	Community services	23	1.67%	101.53	14.12%
Spencerport	800	Public services	23	1.67%	69.06	9.60%
Spencerport	900	Wild, forested, conservation lands and public parks	1	0.07%	0.05	0.01%
		Total	1,377	100.00%	719.16	100.00%
Sweden	100	Agricultural	110	4.01%	5,110.37	25.81%
Sweden	200	Residential	1,938	70.70%	7,272.35	36.73%
Sweden	300	Vacant land	488	17.80%	4,594.75	23.21%
Sweden	400	Commerical	95	3.47%	527.48	2.66%
Sweden	500	Recreation and entertainment	10	0.36%	364.69	1.84%
Sweden	600	Community services	28	1.02%	282.47	1.43%
Sweden	700	Industrial	5	0.18%	379.17	1.92%
Sweden	800	Public services	63	2.30%	574.17	2.90%
Sweden	900	Wild, forested, conservation lands and public parks	4	0.15%	693.02	3.50%
		Total	2,741	100.00%	19,798.47	100.00%

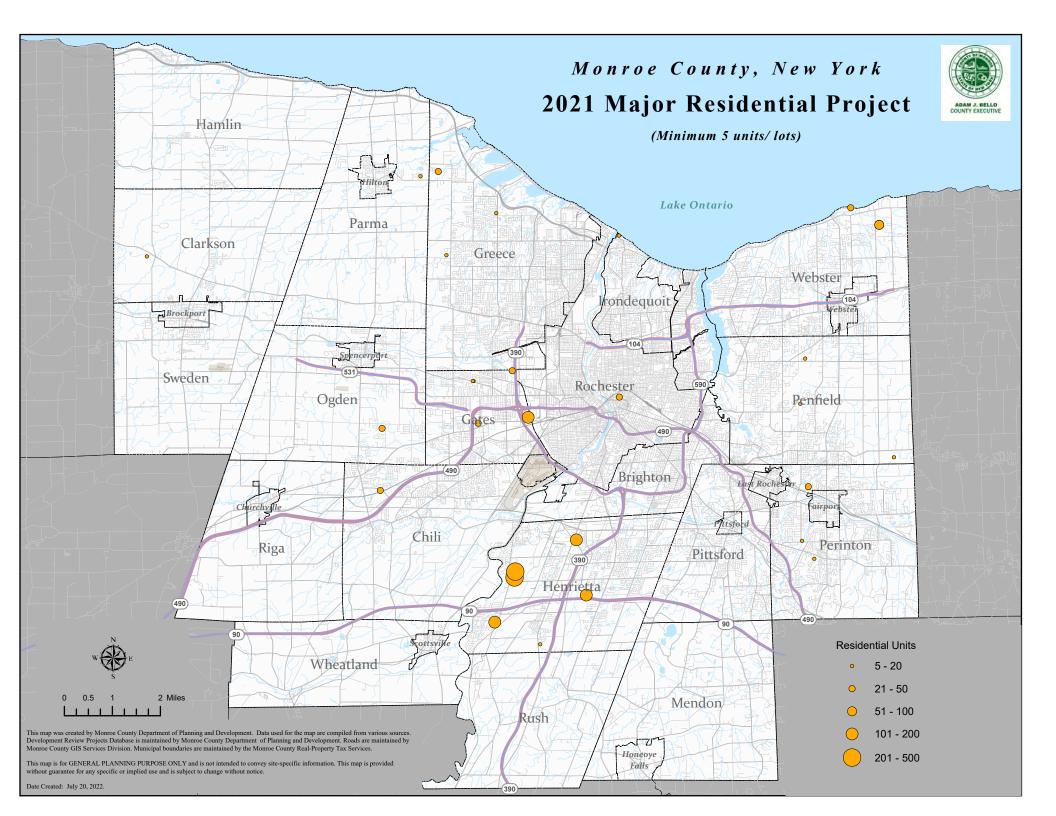
Municipality	Property Code	Catergory Description	Property Count	Count %	Property Acreage	Acreage %
Webster	100	Agricultural	32	0.21%	1,232.04	6.72%
Webster	200	Residential	13,867	90.96%	9,648.70	52.63%
Webster	300	Vacant land	748	4.91%	2,660.74	14.51%
Webster	400	Commerical	291	1.91%	1,265.94	6.91%
Webster	500	Recreation and entertainment	149	0.98%	968.31	5.28%
Webster	600	Community services	61	0.40%	691.97	3.77%
Webster	700	Industrial	22	0.14%	366.14	2.00%
Webster	800	Public services	54	0.35%	188.22	1.03%
Webster	900	Wild, forested, conservation lands and public parks	22	0.14%	1,309.67	7.14%
		Total	15,246	100.00%	18,331.73	100.00%
Webster (V)	200	Residential	1,144	81.31%	374.95	31.04%
Webster (V)	300	Vacant land	62	4.41%	95.33	7.89%
Webster (V)	400	Commerical	144	10.23%	169.85	14.06%
Webster (V)	500	Recreation and entertainment	7	0.50%	27.59	2.28%
Webster (V)	600	Community services	24	1.71%	66.79	5.53%
Webster (V)	700	Industrial	10	0.71%	468.46	38.79%
Webster (V)	800	Public services	15	1.07%	4.24	0.35%
Webster (V)	900	Wild, forested, conservation lands and public parks	1	0.07%	0.62	0.05%
		Total	1,407	100.00%	1,207.83	100.00%
Wheatland	100	Agricultural	136	8.71%	9,331.64	51.83%
Wheatland	200	Residential	908	58.17%	3,855.74	21.42%
Wheatland	300	Vacant land	330	21.14%	2,855.69	15.86%
Wheatland	400	Commerical	40	2.56%	298.85	1.66%
Wheatland	500	Recreation and entertainment	11	0.70%	318.90	1.77%
Wheatland	600	Community services	47	3.01%	822.46	4.57%
Wheatland	700	Industrial	15	0.96%	242.16	1.35%
Wheatland	800	Public services	70	4.48%	134.00	0.74%
Wheatland	900	Wild, forested, conservation lands and public parks	4	0.26%	144.97	0.81%
		Total	1,561	100.00%	18,004.41	100.00%

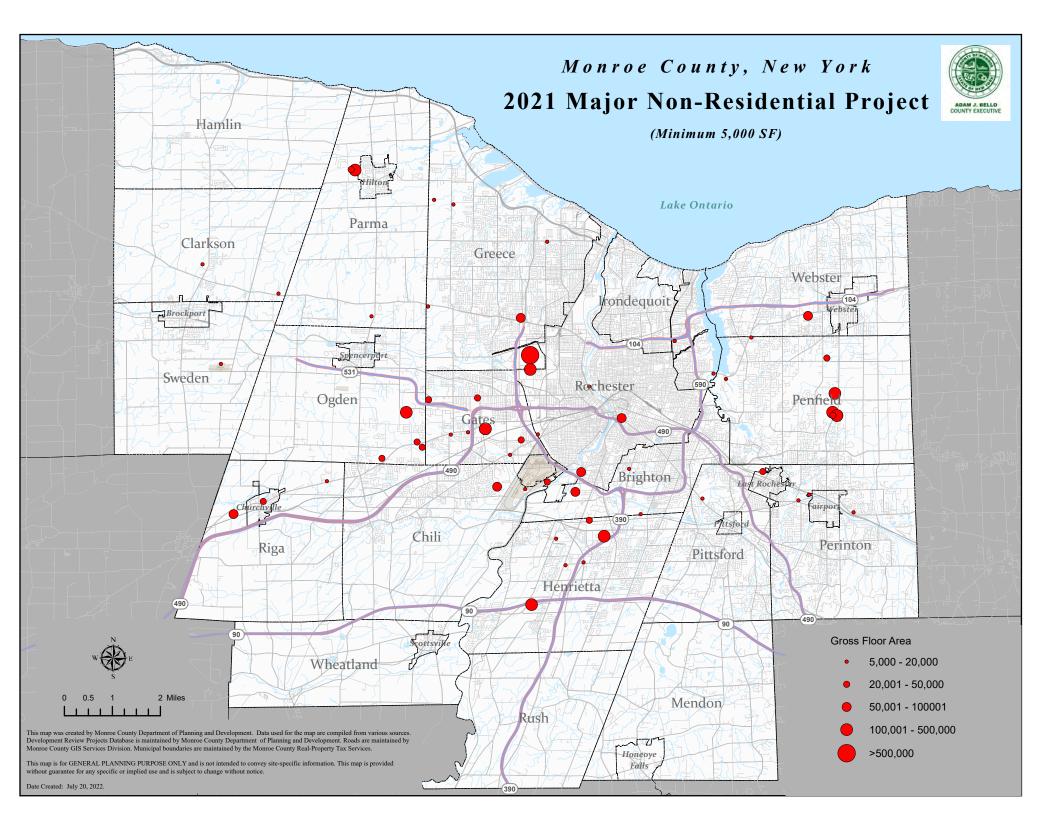
Source: Monroe County RPS Roll Year 2021 (Extracted in January 2022)

MAPS









Monroe County Land Use Monitoring Report 2021

APPENDIX A. NYS LAND USE CODE NUMBERS AND CATEGORIES

New York State Land Use Code Numbers and Categories

100		AGRICULTURAL (Property used for the production of crops or livestock)
	105	Agricultural vacant land (productive)
	110	Livestock and products
	120	Field crops
	130	Truck crops – mucklands
	140	Truck crops – not mucklands
	150	Orchard crops
	160	Other fruits
	170	Nursery and greenhouse
	180	Specialty farms
	190	Fish, Game and Wildlife Preserves
200		RESIDENTIAL
	210	One family year-round residence (Apartments are #411 under the Commercial category)
	220	Two family year-round residence
	230	Three family year-round residence
	240	Rural residence with acreage
	250	Estate
	260	Seasonal residences
	270	Mobile home
	280	Residential – multi-purpose/multi-structure
	281	Multiple residences
300		VACANT LAND
	310	Residential
	311	Residential vacant land
	320	Rural

	330	Vacant land located in commercial areas
	340	Vacant land located in industrial areas
	350	Urban Renewal or slum clearance
	380	Public utility vacant land
400		COMMERCIAL
	410	Living accommodations
	411	Apartments
	414	Hotel
	418	Inns, lodges, boarding and rooming houses, tourist homes, fraternity and sorority houses
	420	Dining establishments
	421	Restaurant (full service)
	430	Motor vehicle services
	431	Auto dealers – sales and service
	434	Automatic car wash
	440	Storage, warehouse and distribution facilities
	442	Mini warehouse (self service storage)
	450	Retail services
	451	Regional shopping centers
	452	Area or neighborhood shopping centers
	453	Large retail outlets
	454	Large retail food stores
	460	Banks and office buildings
	461	Standard bank/single occupant
	464	Office building
	465	Professional building
	470	Miscellaneous services
	480	Multiple use or multipurpose
	482	Downtown row type (detached)
	484	One story small structure

500		RECREATION AND ENTERTAINMENT
	510	Entertainment assembly
	520	Sports assembly
	530	Amusement facilities
	540	Indoor sports facilities
	542	Ice or roller skating rinks
	543	YMCA's, YWCA's, etc.
	546	Other indoor sports
	550	Outdoor sports activities
	552	Public golf course
	560	Improved beaches
	570	Marinas
	580	Camps, camping facilities and resorts
	590	Parks
600		COMMUNITY SERVICES
	610	Education
	612	School (general, elementary and secondary)
	613	Colleges and universities
	615	Other educational facilities
	620	Religious
	630	Welfare
	633	Homes for the aged
	640	Health
	641	Hospitals
	642	All other health facilities
	650	Government
	660	Protection
	662	Facilities for police and fire protection
	670	Protection
	680	Cultural and recreational

	690	Miscellaneous
	695	Cemeteries
700		INDUSTRIAL
	710	Manufacturing and processing
	712	High tech. manufacturing and processing
	720	Mining and quarrying
	730	Wells
	750	Industrial product pipelines
800		PUBLIC SERVICES
	820	Water
	830	Communication
	840	Transportation
	850	Waste disposal
	852	Landfills and dumps
	860	Special franchise property
	870	Electric and gas
	880	Electric and gas transmission and distribution
900		WILD, FORESTED, CONSERVATION LANDS AND PUBLIC PARKS
	910	Private wild and forest lands except for private hunting and fishing clubs
	920	Private hunting and fishing clubs
	930	State owned forest lands
	940	Reforested land and other related conservation purposes
	950	Hudson River and Black River regulating district land
	960	Public parks
	970	Other wild or conservation lands
	980	Taxable state owned conservation easements

Monroe County Land Use Monitoring Report 2021

APPENDIX B. DESCRIPTION OF DATA ELEMENTS

Description of Database Elements

The following description of the database elements can be used to interpret the data provided in the attached tables:

<u>Applicant's Name</u>: The name of the applicant as it appears on the development referral form submitted to Monroe County Department of Planning and Development.

Census Tract Number: Small statistical subdivisions of a county determined by the United States Census Bureau.

<u>Development Information</u>: The name used by NYS and the Monroe County Real Property Tax offices to identify property categories.

<u>Land Use Code</u>: The three-digit number used by NYS and the Monroe County Real Property Tax offices to identify type of land use.

Number of Lots: Number of lots resulting from any subdivision of land.

Number of Units: Applies to number of units in an apartment project or a motel/hotel.

<u>Parcel Address</u>: The name of the primary access road to the property.

<u>Project Name</u>: The title or most recognized reference name for the proposed project, if available.

Project Status: Indicates if a project is approved, pending approval, under construction or complete.

<u>Referral Number</u>: This is Monroe County's identification number assigned to each proposed project submitted for our review. The capital letters represent the municipality, the year the project was initially proposed follows, and then a file number was assigned to each project. The letter at the end identifies the type of review (S = subdivision, Z = site plan review, special permit, or any other type of zoning action, and A = airport review).

Residential Conversion: Indicates that an industrial, commercial or vacant building was converted for residential use.

Senior Housing: Indicates that a project is for senior housing.

Special Needs: Indicates that a project is for a special needs development.

Tax Account Number: The County's Real Property Tax number.

<u>Total Acreage</u>: Total acreage of site to be developed.

Total Gross Floor Area (GFA): The total square footage of gross floor area (if available).

<u>Transportation Analysis Zone (TAZ)</u>: This code number identifies the location of a property for use in the computer modeling system of Genesee Transportation Council.

